



<b>Meeting</b>	Planning Committee
<b>Date and Time</b>	Wednesday, 15th April, 2026 at 9.30 am.
<b>Venue</b>	Walton Suite, Guildhall Winchester and streamed live on YouTube at <a href="http://www.youtube.com/winchestercc">www.youtube.com/winchestercc</a>

**Note:** This meeting is being held in person at the location specified above. Members of the public should note that a live video feed of the meeting will be available from the council's YouTube channel ([www.youtube.com/winchestercc](http://www.youtube.com/winchestercc)) during the meeting.

A limited number of seats will be made available at the above named location however attendance must be notified to the council at least 3 clear working days (by 4.30pm on Thursday, 9 April 2026) before the meeting. Please note that priority will be given to those wishing to attend and address the meeting over those wishing to attend and observe.

## AGENDA

### PROCEDURAL ITEMS

#### 1. **Apologies and Deputy Members**

To record the names of apologies given and Deputy Members who are attending the meeting in place of appointed Members.

#### 2. **Disclosures of Interests**

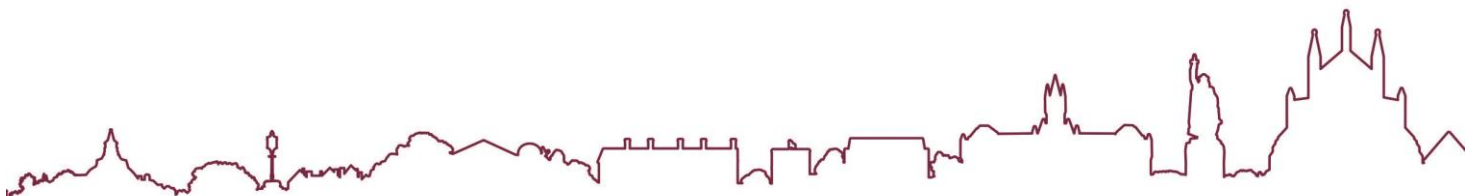
To receive any disclosure of interests from Councillors or Officers in matters to be discussed.

Note: Councillors are reminded of their obligations to declare disclosable pecuniary interests (DPIs), other registerable interests (ORIs), non-registerable interests (NRIs) and on Pre-determination or Bias in accordance with legislation and the Council's Code of Conduct.

If you require advice, please contact the appropriate Democratic Services Officer, prior to the meeting.

#### 3. **Minutes of the previous meeting.** (Pages 9 - 14)

Minutes of the previous meeting held on 11 March 2026.



Public speaking is allowed on individual planning applications, subject to certain restrictions – please contact the Public Speaking Co-ordinator as soon as possible, but prior to **4.30pm on Thursday, 9 April 2026** via email: [planningcommittee@winchester.gov.uk](mailto:planningcommittee@winchester.gov.uk) OR Tel: on (01962) 848 339.on (01962) 848 339 to register to speak and for further details.

## BUSINESS ITEMS

	<b>Report Number</b>	<b>Ward</b>
4.	Where appropriate, to accept the Update Sheet as an addendum to the Report	
5.	Planning Applications (WCC Items 6-9) (Report and Update Sheet refers)	
6.	Kings School, Romsey Road, Winchester, Hampshire, SO22 5PN (Case number: 25/02160/FUL) (Pages 15 - 44)	St Paul
7.	Monument House, 5 Upper High Street, Winchester, Hampshire, SO23 8UT (Case number: 25/01678/LIS) (Pages 45 - 66)	St Paul
8.	Monument House, 5 Upper High Street, Winchester, Hampshire, SO23 8UT (Case number: 25/01677/FUL) (Pages 67 - 100)	St Paul
9.	7 Lynch Close, Winchester, Hampshire, SO22 6DG (Case number: 25/02581/HOU) (Pages 101 - 128)	St Barnabas
10.	Tree Preservation Order 2365 - 3 Grafton Road, Winchester, SO23 3SX (Pages 129 - 146)	St Michael

**Laura Taylor**  
**Chief Executive**

All of the Council's publicly available agendas, reports and minutes are available to view and download from the Council's [Website](#) and are also open to inspection at the offices of the council. As part of our drive to minimise our use of paper we do not provide paper copies of the full agenda pack at meetings. We do however, provide a number of copies of the agenda front sheet at the meeting which contains the QR Code opposite. Scanning this code enables members of the public to easily access all of the meeting papers on their own electronic device. Please hold your device's camera or QR code



App over the QR Code so that it's clearly visible within your screen and you will be redirected to the agenda pack.

7 April 2026

Agenda Contact: Claire Buchanan, Senior Democratic Services Officer tel: 01962 848 438 Email: [cbuchanan@winchester.gov.uk](mailto:cbuchanan@winchester.gov.uk)  
Matthew Watson, Senior Democratic Services Officer tel: 01962 848 317 Email: [mwatson@winchester.gov.uk](mailto:mwatson@winchester.gov.uk)

*\*With the exception of exempt items, agendas, reports and previous minutes are available on the Council's Website <https://www.winchester.gov.uk/councillors-committees>*

## **MEMBERSHIP**

**Chairperson:**  
Rutter (Liberal Democrats)

**Vice-Chairperson:**  
Williams (Liberal Democrats)

### **Conservatives**

Cunningham  
Langford-Smith

### **Liberal Democrats**

Aron  
Gordon-Smith  
Laming  
Small

### **Green**

White

### **Conservatives**

Bolton and Godfrey

### **Deputy Members Liberal Democrats**

Clear and Pett

### **Green**

Lee

Quorum = 3 members



Working in Partnership



## **THE HUMAN RIGHTS ACT 1998:**

Please note that the Human Rights Act 1998 makes it unlawful for the Council to act in a way incompatible with any of the Convention rights protected by the Act unless it could not have acted otherwise.

In arriving at the recommendations to grant or refuse permission, careful consideration has been given to the rights set out in the European Convention on Human Rights including Article 6 (right to a fair trial), Article 8 (right to respect for private and family life), Article 14 (prohibition of discrimination in enjoyment of convention rights) and Article 1 of the first Protocol (the right to peaceful enjoyment of possessions).

The Council is of the opinion that either no such rights have been interfered with or where there is an interference with the rights of an applicant or objector, such interference is considered necessary for any of the following reasons:-

- ◆ The protection of rights and freedoms of others
- ◆ Public safety
- ◆ The protection of health or morals
- ◆ The prevention of crime or disorder
- ◆ The economic well being of the country.

It is also considered that such action is proportional to the legitimate aim and in the public interest.

## **GENERAL GUIDANCE ON THE WORK OF THE COMMITTEE:**

### **Background**

The Planning committee meets on average once every four weeks. The membership of the committee is drawn from elected city councillors.

The Council's Constitution states that the vast majority of applications will be determined by the Planning officers (which are sometimes known as "delegated decisions"). However, if certain criteria are met from the Constitution, some applications (about 5%) are referred to committee for determination, rather than officers.

As part of the Winchester District includes the South Downs National Park (SDNP), the committee can also determine applications from this area on behalf of the National Park Authority.

## **At the meeting**

At the start of the committee meeting, the councillors and officers will be introduced. Any councillor's declarations of interest will also be announced at this point. If the interest is considered by the councillor to be significant, he/she will leave the meeting when it reaches that item on the agenda.

## **Timing**

The committee considers many applications and scrutinises each one thoroughly. However, to prevent waiting unnecessarily through other people's applications, where work demands it, agendas will be split into morning and afternoon sessions. The morning session will usually start at 9.30am and, where applicable, the agenda will set out those items which the committee will *not* consider before 2.00pm in the afternoon. Further details are set out below.

## **The Officer's presentation**

On each item, the planning case officer will introduce the application to the committee. They will concentrate on showing details of the proposals with the aid of projected visual material, including photographs of the site and plans. The length and details of the presentation at the meeting will be proportionate to the nature and scale of the proposal. The officer will make a recommendation to the committee to either approve or refuse the application and, in the latter case, will state the reasons for this.

The officer is required to make a recommendation and the presentation will include material to explain why the scheme is being recommended for permission or refusal. However, officers will not restate the information set out in the report which relates to the assessment of the planning merits of the case. Specialist officers dealing with issues such as landscape, design and historic environment may also be available at committee to provide advice on such matters and a legal representative will attend all Planning committee meetings.

## **Public participation:**

There will be a period of public participation, as follows:

- Objectors (3 minutes in total),
- Parish Council representatives (3 minutes),
- Ward Members (local District Councillors)/Cabinet Members (5 minutes each),
- and supporters of the application (3 minutes in total).

The process is controlled by procedures to ensure fairness to both objectors and supporters. **To register to speak at the meeting, please contact the Public Speaking Co-ordinator on 01962 848 339 by 4:30pm at least THREE clear working days before the meeting,** (Thursday, 9 April 2026) in order to allow the meeting to be managed as efficiently as possible.

Please keep to the time allocated.

After each speaker's category, there will be an opportunity for the committee to ask questions of the speakers, if the committee considers it necessary to clarify any matters of fact that arise.

Aside from this, the committee will not enter into any further discussion with members of the public.

The names of members of the public etc who have registered to address committee meetings will appear in the minutes as part of the public record, which will be included on the Council's website. Those wishing to address a committee meeting who object to their names being made available in this way must notify the Democratic Services Officer either when registering to speak, or within 10 days of this meeting.

Further information about speaking at the Planning Committee can be [found here](https://www.winchester.gov.uk/planning/other-guidance/public-speaking-at-planning-committee). ( <https://www.winchester.gov.uk/planning/other-guidance/public-speaking-at-planning-committee> )

### **Members' Questions**

After the officers' presentation and public participation there will be an opportunity for the Councillors on the committee to ask questions of the officers and clarification, if necessary, of public speakers.

### **The Councillors' Debate**

The Councillors will then debate the application and may pick up any issues raised during public participation before a vote is taken to either;

- permit,
- refuse or
- defer (usually for a site visit or for further information). If a site visit is required then the item will usually be deferred to the next meeting of the committee to allow it to be reconsidered after the site visit has been held. The item will be reconsidered in its entirety, including public participation where those registering to speak will be given the opportunity to address the committee.

If the committee votes against the officer's recommendation, the reasons for this will be discussed and explained. Usually, the precise wording for the reasons for refusal will be delegated to the Service Lead Built Environment in consultation with the Chair. A summary of the committee's reasons will be included in the minutes.

## **Voting**

Every Member has one vote when a matter before the meeting requires a decision. In the event of an equality of votes, the Chair may exercise a casting vote and that vote may be cast in any way they wish.

A Member may abstain from voting or vote differently from how they may have indicated during the debate, without further explanation. The way each member voted will not be recorded in the minutes, unless a motion to have a recorded vote has been passed.

## **After the meeting**

After the meeting, the minutes will be available from the Council's website and a decision notice will be sent to the applicant/agent. Applicants have a right of appeal against a committee decision to refuse planning permission, or any conditions imposed on permission, and any appeal will be considered by an Inspector appointed by the Secretary of State. Where an application has been permitted, there is no opportunity for objectors to appeal, other than to the Court by way of judicial review on a point of law.

## **Filming and broadcast notification**

This meeting will be recorded and broadcast live on the Council's YouTube channel. The meeting may also be recorded and broadcast by the press and members of the public – please see the Access to Information Procedure Rules within the Council's Constitution for further information, which is available to view on the [Council's website](#). Please note that the video recording is subtitled, but you may have to enable your device to see them (advice on how to do this is on the meeting page).

## **Disabled access**

Disabled access is normally available, but please phone Democratic Services on 01962 848 264 or email [democracy@winchester.gov.uk](mailto:democracy@winchester.gov.uk) to ensure that the necessary arrangements are in place.

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# Public Document Pack Agenda Item 3

## **PLANNING COMMITTEE**

**Wednesday, 11 March 2026**

Attendance:

Councillors  
Rutter (Chairperson)

Williams  
Aron  
Gordon-Smith  
Laming

Langford-Smith  
Small  
White

Apologies for Absence:

Councillor Cunningham

Deputy Members:

Councillor Godfrey (as deputy for Cunningham)

Other members in attendance:

Councillor Eve

[Video recording of this meeting](#)

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### 1. **APOLOGIES AND DEPUTY MEMBERS**

Apologies were noted as above.

### 2. **DISCLOSURES OF INTERESTS**

Councillor Williams declared a disclosable pecuniary interest due to his role as Hampshire County Councillor. However, as there was no material conflict of interest, he remained in the room, spoke and voted under the dispensation granted on behalf of the Audit and Governance Committee to participate and vote in all matters which might have a County Council involvement.

### 3. **MINUTES OF THE PREVIOUS MEETING.**

RESOLVED:

That the minutes of the previous meeting held on 4 February 2026 be approved and adopted.

4. **WHERE APPROPRIATE, TO ACCEPT THE UPDATE SHEET AS AN ADDENDUM TO THE REPORT**

The committee agreed to receive the Update Sheet as an addendum to the report.

5. **PLANNING APPLICATIONS (WCC ITEMS 6-8)**

A copy of each planning application decision is available to view on the council's website under the respective planning application. The committee considered the following items:

6. **LAND ADJACENT TITCHFIELD LANE, WICKHAM (CASE REFERENCE: 24/02818/FUL)**

Proposal Description: Erection of Battery Energy Storage Facility including creation of new vehicular access along with landscaping and all associated engineering works.

The application was introduced. Members were referred to the update sheet ([available here](#)) which provided additional information regarding several matters including the following:

1. Additional representations had been received from the Parish Council and members of the public questioning the need for the development, grid connection, cumulative impact, traffic management, fire safety, noise, and community engagement.
2. The update sheet also contained technical amendments to the officer's report and revisions to conditions 3, 7, 14, 18, 19, and 24. These points were set out in full within the update sheet with textual amendments highlighted.

In addition to the published presentation, the case officer provided a verbal update regarding the key issues that had been raised, including: construction vehicle movements, fire safety issues, noise, the need for battery storage and the connection date.

During public participation, Emma Rosling, and Michael Purkins spoke in objection to the application, Jonathan Cooper spoke in support of the application and Councillor Rappé on behalf of Wickham and Knowle Parish Council spoke in objection to the application and answered members' questions.

The committee proceeded to ask questions and debate the application. During discussion on the item the committee received advice from the Legal Adviser regarding several matters including the materiality of business rates, the management of noise impacts on human and ecological receptors, and the relationship between planning control and fire safety regulations.

## RESOLVED

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the update sheet. This was subject to an amended condition requiring the landscaping scheme to be implemented upon completion of construction and an additional informative regarding the coordination of construction traffic with neighbouring developments, the final wording of which to be delegated to officers in consultation with the Chair.

### 7. **BRENDON HOUSE, PARK ROAD, WINCHESTER (CASE REFERENCE: 25/02183/FUL)**

Proposal Description: Part demolition and part conversion of an existing C2 Care Home to three C3 residential dwellings, with the erection of five C3 residential dwellings, with associated access, landscaping and parking (Amended Plans).

The application was introduced. Members were referred to the update sheet ([available here](#)) which detailed an amendment to the list of approved plans under Condition 2. It was noted that the reference to “Block Plan Proposed - Dwg No. P13 Rev C - Received 24/10/2025” was to be omitted from the condition.

It was noted that the committee had visited the application site on 10 March 2026 to enable members to observe the site in context and to gain a better appreciation of the proposals.

During public participation, Ben Duxbury spoke in objection to the application, and Chris Rees spoke in support of the application. Councillor Nathan Eve spoke as a ward member and expressed several points on behalf of residents which could be summarised as follows.

1. He stated that he and the residents supported the principle of the site being redeveloped, but he opposed the proposal in its current form due to specific concerns regarding the designs of plots six, seven, and eight.
2. He highlighted that the proposed buildings were higher than the existing structure, resulting in the overlooking of neighbouring properties to the rear, as the existing hedge line provided sparse cover during winter.
3. He felt that plots six and seven would have direct lines of sight into the living areas and gardens of numbers 5 and 6 Salcot Road, while plots six and eight would compromise the privacy of gardens at Lawn End and Holly House.
4. He noted that the existing care wing was mainly single-storey and designed to avoid overbearing impacts, whereas the proposed three-storey dwellings, such as plot eight, would cause a loss of privacy for existing residents.
5. He expressed concern over the lack of consultation by the developer and a lack of clarity in the submitted application, noting limited information on site levels and contextual details regarding existing residential properties.

6. He pointed out that residents believed the proposed section BB in appendix four did not reflect the slope between properties, noting a two-metre drop along the boundary with number 6 Salcot Road.
7. He argued that the overlooking and loss of privacy were contrary to local planning policy, which states that proposals should not have an adverse effect on neighbouring properties.
8. He urged the committee to refuse the proposal, but requested that if permission was granted, conditions for proper wall fencing and mature landscaping be implemented to mitigate the effects of the development.

The committee proceeded to ask questions and debate the application.

**RESOLVED**

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the update sheet subject to an additional condition requiring that the “bonus room” window on Plot 7 be restricted to a top-opening design to prevent overlooking.

8. **LAND NORTH EAST OF PARK PLACE PASTORAL CENTRE, WINCHESTER ROAD, WICKHAM (CASE REFERENCE: 25/01371/FUL)**

The application was introduced and during public participation, Andrew Hudson spoke in objection to the application, Emily Jeffries, and Alex Shepherd spoke in support of the application and Councillor Rappé on behalf of Wickham & Knowle Parish Council spoke in objection to the application and answered members' questions.

The committee proceeded to ask questions and debate the application.

**RESOLVED**

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the update subject to an additional condition requiring the classroom dome to be only used in connection with the existing kindergarten, with the precise wording delegated to officers in consultation with the Chair.

9. **PLANNING AND ENFORCEMENT NOTICE APPEALS QUARTERLY REPORT – 1 OCTOBER 2025 TO 31 DECEMBER 2025**

The report set out a summary of the planning and enforcement appeal decisions for the period 1 October 2025 to 31 December 2025. Officers advised that overall it demonstrated a successful quarter for appeals, with 14 dismissed and three allowed. The Chair commended officers on the report's findings.

RESOLVED:

That the summary of planning and enforcement appeal decisions received during the period 1 October 2025 to 31 December be noted.

The meeting commenced at 9.30 am and concluded at 12.45 pm

Chairperson

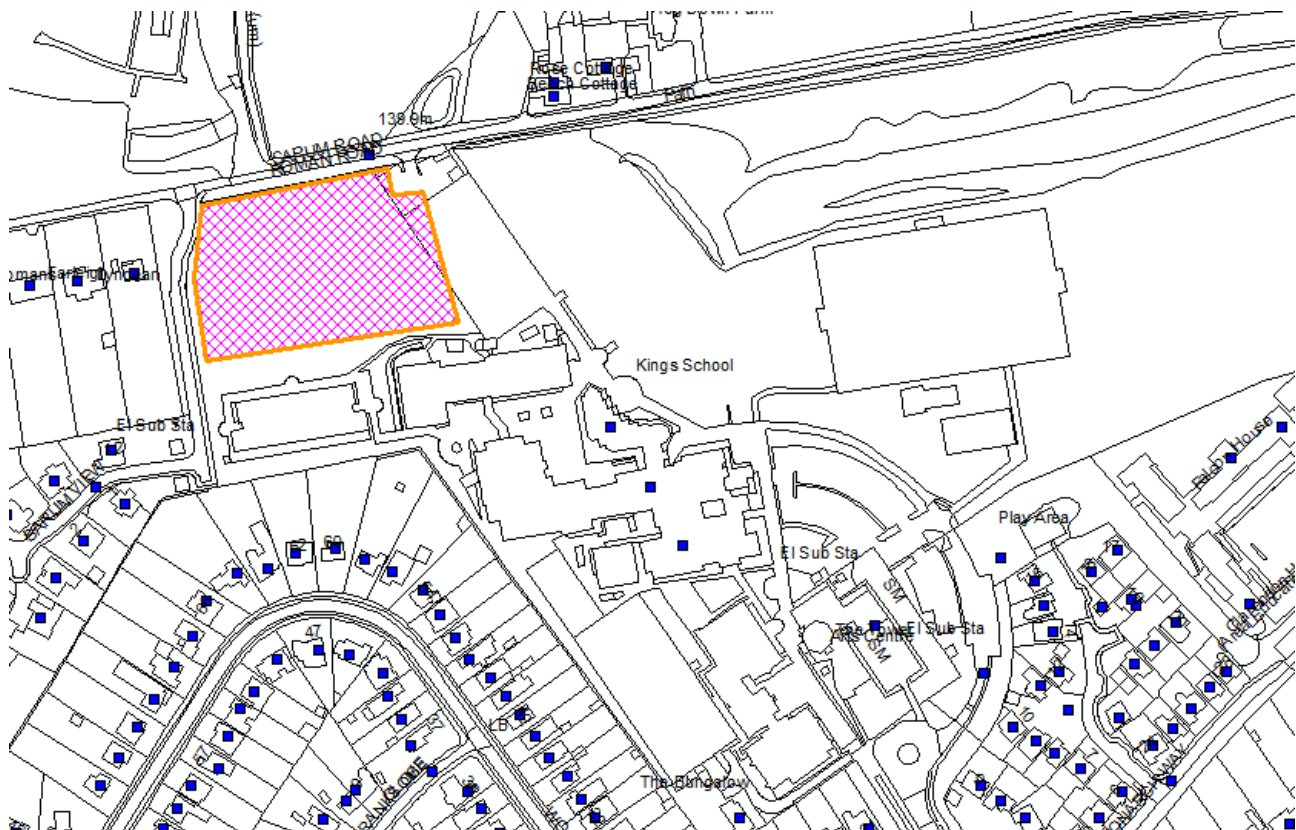
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## WINCHESTER CITY COUNCIL PLANNING COMMITTEE

**Case No:** 25/02160/FUL  
**Proposal Description:** Creation of a 3G Artificial Grass Pitch (AGP) with perimeter fencing, hardstanding areas, storage container, floodlights, acoustic barrier, access paths and parking area  
**Address:** Kings School Romsey Road Winchester Hampshire SO22 5PN  
**Parish, or Ward if within Winchester City:** St Paul  
**Applicants Name:** Dr James Adams  
**Case Officer:** Mrs Megan Osborn  
**Date Valid:** 21 October 2025  
**Recommendation:** Permit  
**Pre Application Advice:** No

### Link to Planning Documents

[Link to page – enter in reference number 25/02160/FUL](https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple)  
<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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### Reasons for Recommendation

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PLANNING COMMITTEE

The development is recommended for permission as it is considered that it will not adversely impact the character and appearance of the local environment and would not harm neighbouring residential amenity and is in accordance with the development plan.

### **General Comments**

The application is reported to Committee due to the number of Objections received contrary to the Officer's recommendation.

### **Amendments to Plans Negotiated**

None

### **Site Description**

Kings School is located within the city of Winchester. The main entrance to the school is located from Romsey Road via Kings Road with a secondary access from Sarum Road. The proposed site for the artificial pitch is located to the north of the main school buildings on an existing area of grass. To the east of the site there are existing tennis courts and the land slopes down to more grass pitches and an existing artificial pitch.

On the other side of Sarum Road, to the north of the site is Royal Winchester Golf Club, to the west are the residential dwellings on Sarum View, to the south is an existing school building with residential dwellings on Woodfield Drive beyond this.

There is a small existing parking area off Sarum Road.

### **Proposal**

The proposal is for a 3G artificial grass pitch (AGP), perimeter fencing, floodlighting, hard standing areas, access paths and a grasscrete parking area.

### **Relevant Planning History**

Planning application made for the existing artificial pitch - 96/03375/OLD - Provision of community accommodation and facilities with service road and including 6 no. tennis courts, all weather training court and additional car parking  
No objection was raised 1st August 1996.

### **Consultations**

#### Service Lead – Engineering (Drainage) -

- No objections

#### Service Lead – Sustainability and Natural Environment (Ecology) –

- There is a slightly different approach to the bat surveys which is accepted. No objection to the ecological appraisal, subject to a condition requiring the proposed mitigation (condition 5). Further work needs to be carried out on the BNG metric, this has been provided and the BNG is now acceptable, subject to a conditions 11 and 12.

#### Service Lead – Sustainability and Natural Environment (Landscape) –

**Case No: 25/02160/FUL**

WINCHESTER CITY COUNCIL  
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- No objections, subject to more tree planting

Service Lead – Sustainability and Natural Environment (Trees) –

- Comments received 26<sup>th</sup> November - Need more information in relation to the re planting of trees on the site.
- Comments on 11<sup>th</sup> February – further information has been submitted in relation to the re planting of trees and this is acceptable.

Service Lead – Public Protection (Environmental Health) –

- Noise – comments received 19<sup>th</sup> November 2025 – concerns in relation to the noise and the impact on nearby properties.

Further comments 16<sup>th</sup> December 2025 in response to information and email from applicant – not provided sufficient mitigation to alleviate previous concerns.

Comments received 3<sup>rd</sup> March 2026 after receiving additional information raising the acoustic fence from 3m to 3.5m - Although the increased height in the fence will reduce the noise marginally, the Environmental protection officer still has concerns regarding the hours of use and the disturbance later in the evening. It was suggested that the only way to mitigate any noise impact from the proposal would be by limiting the hours of use. It was suggested that 9pm be the latest in the evening.

The hours of operation were amended by the applicant to change from a finish time of 9pm instead of 10pm – The environmental protection officer supports this hour change.

Condition 6 requires the development to be carried out in accordance with the noise report and condition 14 restricts the hours of use of the pitch.

- Light – comments received 19<sup>th</sup> November 2025 – the proposed lighting scheme is acceptable, subject to condition 7.

Vertical illuminance plans were requested and submitted by the applicant – These were assessed by the Environmental Protection Officer (18<sup>th</sup> March 2025) and it was agreed that this information clarifies there are no concerns regarding light overspill and surface illuminance, in accordance with the Institute of Lighting Professionals' guidance GN01/21.

Cycle Winchester –

- Objection – this development would cause harm to the active travel in the area as it would add more traffic to a road that is unsuited to traffic. Contrary to policy and HCC Cycle strategy and LCWIP.

Hampshire County Council (Highway Authority) –

- No objections, subject to condition 13 and 15

South Down National Park -

- No objections

Natural England -

- No comment

Southern Water -

- No comment

Sport England -

- No objections

**Case No: 25/02160/FUL**

WINCHESTER CITY COUNCIL  
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**Representations:**

Councillors - none

City of Winchester Trust – not objecting or supporting – the visual impact may be contentious in relation to the flood lights proposed. In view of the existing uses, this proposal is seen as acceptable.

81 Objecting Representations received from different addresses and 3 with no addresses citing the following material planning reasons:

- Impact from noise
- Impact from light
- Impact on highways
- Increase in traffic
- Ecological impact
- Contrary to planning policy
- Impact to horse riders from additional traffic
- Impact on residential amenities
- 10 end time is too late in this residential area
- Environmental impact
- There are no footpaths on parts of Sarum Road making it unsafe to walk
- Harmful the character of the surrounding area
- Landscape harm
- Drainage and run off
- Alternative site considerations

306 Supporting Representations received from different addresses and 4 with no address and 25 from outside of Winchester District citing the following material planning reasons:

- The facility is needed
- Promotes good health
- There is a shortage of all weather pitches in Winchester
- Can restrict times of use
- Much needed community facility
- Good for physical and mental health

**Relevant Government Planning Policy and Guidance**

National Planning Policy Framework (NPPF)

- 2. Achieving sustainable development
- 4. Decision-making
- 8. Promoting healthy and safe communities
- 9. Promoting sustainable transport
- 11. Making effective use of land
- 12. Achieving well-designed places
- 15. Conserving and enhancing the natural environment

National Planning Practice Guidance (NPPG)

**Case No: 25/02160/FUL**

WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

- Air quality
- Biodiversity net gain
- Community Infrastructure Levy
- Consultation and pre-decision matters
- Design: process and tools
- Determining a planning application
- Effective use of land
- Healthy and safe communities
- Housing and economic land availability assessment
- Housing and economic needs assessment
- Light pollution
- Natural environment
- Noise
- Open space, sports and recreation facilities, public rights of way and local green space
- Travel Plans, Transport Assessments and Statements
- Use of planning conditions

Local Plan (Regulation 19) 2020 – 2040

SP3 – Development in the countryside

D1 – High quality, well designed and inclusive places

D2 – Design principles for Winchester Town

D7 – Development standards

T1 - sustainable and active transport and travel

T2 – Parking for new developments

T4 – Access for new developments

NE1 – Protecting and enhancing biodiversity and the natural environment

NE3 – Open space, sport and recreation

NE4 – Green and blue infrastructure

NE5 – biodiversity

NE8 – south downs national park

NE9 – landscape character

NE10 – protecting open areas

NE13 – Leisure and recreation in the countryside

NE14 – rural character

Supplementary Planning Document

National Design Guide 2019

High Quality Places 2015

**Planning Considerations**

**Principle of development**

The site is located within the Kings School campus, just outside the designated development boundary and within land classified as countryside. The policies of the Local Plan seek to protect the countryside from inappropriate development.

This is highlighted in Policy SP1, which applies a town centre first approach to retail, leisure or other development proposals that attract large numbers of people.

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WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

Policy E3 further emphasises this. The policies states that 'the town centre strategy is to maintain and enhance the role of centres as thriving areas for community and economic activities'.

The proposal is for a 3G pitch with artificial grass to be located just outside the settlement boundary of Winchester. It is designed to accommodate a number of youth football pitches and training areas. The pitch will be surrounded by a 4.5m high fence with a 1.2m high internal fence, 6 no. 13m high floodlights, a 3.5m high acoustic barrier to the western elevation of the pitch and a parking area for 41 vehicles located to the north of the pitch.

The proposed use of the pitch will be for the school during school hours and other sports clubs outside the school hours. The pitch has the potential to attract users from inside and outside of Winchester city.

The site is outside the settlement boundary where countryside policies apply, such as policy SP3. This policy allows for essential leisure and recreational development in accordance with Policy NE13.

Policy NE13 permits the development outside the settlement boundary of new leisure and recreational facilities for which a countryside location is necessary, subject to certain criteria:

- i) The development does not create unacceptable visual or noise intrusion in the countryside either by itself or when viewed cumulatively with other developments.
- ii) Additional buildings, structures and ancillary developments area the minimum required for the operation of the site.
- iii) The operation of the site will not cause unacceptable harm to the character of the area, including by all forms of pollution, or harm biodiversity, heritage assets, tranquillity or public safety and,
- iv) Appropriate landscaping scheme and screening are provided.

The above criteria are assessed within the 'impact of character and appearance of area' below.

The supporting text makes it clear that recreation uses are most sustainably located in or adjacent to existing settlements (paragraph 7.100).

This site is located within the existing Kings School campus and, although just outside the settlement boundary, it is located adjacent to existing sport facilities, one of these being an existing all weather pitch, which is approximately 170m to the east of this proposed site.

This site is identified in the Winchester City Council Playing Pitch Strategy (PPS) 2025-2040 as a priority to meet the 3G need identified. It is also subsequently highlighted as a priority project in the Winchester Local Football Facilities Plan (LFFP). This Plan states the need for 7 additional full size 3G pitches to meet the growing needs for football and in particular the huge growth of the women and girls game in the Local Authority (Winchester has the largest proportion of W&G teams versus total teams nationally).

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WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

Kings School site was identified due to their commitment to the growth of the game, as well as their commitment to wider community usage and their experience of managing and operating community sports facilities, so the infrastructure is already in place.

This project will seek to provide opportunities for everyone to become more active, promoting health & wellbeing and improving local provision where a deficiency has been identified through evidence-based strategies.

In conclusion, this is on land classified as countryside, which allows for essential leisure and recreational development. There is a clear need for facilities such as this proposed, as set out in the PPS. Its location adjacent to existing facilities is encouraged to cluster these types of developments in one place. It is therefore considered that the proposed development of the site for an all-weather pitch is acceptable in principle in relation to the policies assessed above.

**Assessment under 2017 EIA Regulations.**

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

**Impact on character and appearance of area**

The proposal is for an all-weather 3G pitch to be located on an existing field within the Kings School Campus. The development would include fences around the perimeter of the pitch, hardstanding, flood lights, and a car parking area of Sarum Road.

As stated above, Policy NE13 lists a set of criteria and development will be allowed under this policy if:

- The development does not create unacceptable visual or noise intrusion in the countryside
- Additional buildings and structures are kept to a minimum required for the operation of the site
- The proposal would not cause an unacceptable alteration to the character of the area
- There is appropriate landscaping proposed.

The application only proposes the minimum amount of structures required for a development of this type and there is no unnecessary development proposed.

When assessing the site in relation to the impact on the surrounding area, it is acknowledged that this is countryside, although edge of the city and directly adjacent to the development boundary. However, when travelling west along Sarum Road from a point roughly in line with the Sarum Road Hospital car park and the highway no stopping sign, to a point in line with Rose Cottage and Beech Cottage on the north side of the lane, the character and appearance of the lane becomes quite rural. Suburban elements have

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been left behind, and it feels like countryside. The hedges are thick and full; the road is narrow and sunken in places and there are very few detracting influences. Teg Down Farm is a large residential building to the north side of the lane but is rapidly being concealed by a recently planted belt of trees and shrubs. This character changes abruptly as you arrive at the rear entrance to the school. The school's car park is clearly visible, the rural hedgerow has gone, there are streetlights on the south side of the lane and a roadside pavement. A few meters further on is the large, incongruous entrance road to the Royal Winchester Golf Club. The golf club car park is clearly visible. Views now open up northwards over the golf course to the distant countryside beyond. The entrance to Sarum View just beyond the school is a typical suburban access road and due to the combination of these elements the character and appearance has switched back from being rural to being urban fringe or suburban.

There is lighting proposed for the pitch, which has been specifically designed to fulfil sports lighting requirements and is accepted where low light pollution is essential. The lighting will be down lit ensuring that it reaches the sports surface and not into the sky or polluting the environment. Therefore, the light pollution will be kept to a minimum and with the existing backdrop of the school and residential streets, this would not adversely affect the tranquillity of the countryside.

The introduction of a 3G Artificial Grass Pitch with its fencing, floodlights and parking area is considered not to be too incongruous, out of place or visually intrusive and would be read as a part of the school. This would particularly be the case if the boundary vegetation on the lane was retained in order to maintain a visual screen to the lane. This is conditioned (condition number 3).

Overall, the proposal complies with policies D1, D2, and NE13 of the Winchester District Local Plan 2024-2040.

### **Development affecting the South Downs National Park**

The application site is located 2.3 km from the South Downs National Park. Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2024. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

Due to the distance and intervening features, an adverse impact on the National Park and its statutory purposes is not identified.

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In conclusion therefore the development will not affect any land within the National Park and is in accordance with Section 11a of the National Parks and Access to the Countryside Act 1949.

**Historic Environment**

No Impact, the works do not affect a statutory Listed building or structure including setting; Conservation Areas, Archaeology or Non-designated Heritage Assets including setting.

**Neighbouring amenity**

The nearest properties are located to the west of the proposed site on Sarum Road and Sarum View, the nearest dwelling being approximately 25m away. This is Lyndean, which fronts onto Sarum Road, with its rear garden running most of the length of the access to the houses on Sarum View. There are houses to the south on Woodfield Drive, these are located behind an existing school building. To the north of the site is the access to Royal Winchester Golf Club and to the north east, along Sarum Road there is Rose and Beach Cottage.

It is considered that the proposed development is a sufficient distance away from dwellings as to not result in any overlooking, overbearing or overshadowing harm to the residential amenities. Below considers the impacts in relation to the proposed lighting and noise from as a result of the development proposed.

Floodlights

The proposed flood lighting is for 6 no. 13m high galvanised steel columns, each equipped with energy efficient LED luminaires.

The application has a submitted a lighting statement, which proposes an advanced flood lighting system, to ensure obtrusive light is significantly reduced.

A vertical illuminance plan was requested further to the information already submitted by the applicant.

The submitted information has been assessed by the Winchester City Councils Environmental Health officer and it was considered that the proposed lighting scheme is acceptable in accordance with the Institute of Lighting Professionals' guidance GN01/21. It is advised that a condition to ensure the lighting is installed and maintained in accordance with the documentation provided and switch off 15 mins after the use of the pitch (Conditions 7, 8 and 9).

Noise

A noise impact assessment was submitted with the application, which has been amended as a result of comments. The applicant undertook an environmental noise assessment for the proposed new artificial grass pitch (AGP), which considered the impact of environmental noise on the nearby residential properties based on noise level data from activities measured a similar pitches.

Amendments were made to the height of the acoustic fence from 3m to 3.5m.

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The report concluded, 'With regards to planning policy, we would expect that the development would potentially be noticeable but not intrusive and would result in no observed adverse effect'.

The LPA environmental Health officer commented on the proposals, stating 'although the addition to the acoustic barrier will reduce the noise impact marginally, the concern regarding the hours of use and disturbance into the later evening still remains, particularly as background noise levels will reduce as the evening progresses. This impact is likely to be exacerbated as the pitch is all weather providing a play-able surface all year round, and the provision of lighting which will extend the use particularly in winter months. It is my opinion that the only way to further mitigate any noise impact from the proposal is by limiting the terminal hour. I would suggest that 9pm might be acceptable to this department.'

The applicant has subsequently amended the hours of operation, on the advice of the EHO, the hours of use are now:

Monday – Friday: 08:00 – 21:00  
Saturday – Sunday: 09:00 - 18:00  
No Whistle policy after 18:00  
(condition 14)

These hours are considered acceptable by the EHO and the development would not result in an unacceptable impact on neighbouring amenities that would warrant the refusal of this application. Therefore, the proposal complies with policy SP3 and D7 of Local Plan.

### **Sustainable Transport**

Access to the development would be from Kings Road, off Romsey Road, and Sarum Road. Kings Road is the main entrance to the school, with footways and streetlighting. Sarum Road is narrower and lacks continuous footway provision. The proposal includes a new car parking area with 41 spaces adjacent to the proposed artificial grass pitch (AGP), accessed from the existing entrance on Sarum Road.

Suitable pedestrian and cycle access is provided from Kings Road, where footways and streetlighting offer a safe route from the surrounding residential areas. Sarum Road has more limited pedestrian infrastructure, with a footway on the southern side of the carriageway between Sarum View and Romsey Road. The AGP is expected to generate only minimal pedestrian activity from this direction, with most users approaching via Kings Road.

The trip generation assessment in the Transport Assessment adopts a person-based methodology supported by TRICS data. Upper-range usage assumptions have been applied by modelling the pitches at full capacity with overlap between consecutive bookings, resulting in a high-end estimate of total person trips.

A car occupancy rate of two persons per vehicle has been used, which may at times be optimistic, but the forecast peak of 56 two-way vehicle movements per hour 2 remains a reasonable estimate. This peak would occur during evening and weekend periods, outside school drop-off and pick-up times, and is unlikely to add to existing congestion.

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There are no adoptable parking standards for a development of this type. The level of proposed car parking on the site is acceptable, especially given the amount of parking existing on this site. Parking surveys of the school and community use have been combined with modelled demand for hockey and the proposed AGP. A total of 232 spaces would be available within the school grounds, including the new car park off Sarum Road. On the basis of the trip generation assumptions, the overall level of proposed parking is expected to meet the forecast demand.

The new car park on Sarum Road may attract a high proportion of AGP users due to its proximity to the pitch. This does not alter the conclusion that the proposed provision can accommodate the anticipated level of use and that the forecast additional vehicle trips are unlikely to result in an unacceptable highway safety impact on Sarum Road, Kings Road or the wider local highway network.

Therefore, the proposal complies with policy T1 and T2 of the Local Plan.

### **Ecology**

The location of the pitch is on grass land, which is considered to have low wildlife habitat. The effected area is modified grassland or poor condition.

A preliminary ecological appraisal has been submitted within this application, which concludes that due to the low level of existing ecology on this site, there is no requirement for further ecological surveys, beyond a bat survey.

The application is supported by a Phase II Bat Survey which largely conforms with the best practice guidelines produced by the Bat Conservation Trust guidelines particularly with regards to the set up and location of the static detectors and the methods used for the nighttime bat walkover survey. The survey, however, did not undertake 3 separate surveys in each season i.e. 1 in spring, 1 in summer and 1 in autumn. The Phase II Bat Survey Report by BJ Collins (September 2025) provides justification for this.

It is stated that the site is “low suitability for bats” and that proportionality should be considered. It is also stated in the report that “it is considered unlikely that further information will be provided by a mid-season survey than that which has been provided by these two monitoring periods, which have covered some 24 nights.” The autumn survey was started in late August which is still considered summer and carried on into early September (the autumn). The BCT guidelines also recommend that a minimum of 15 nights of survey data should be collected (5 nights worth in each season) whereas this survey undertook 24 nights so further data was collected (9 days’ worth) despite only 2 visits. Given the above, the justification is accepted for slightly different approach to the survey methodology.

The site does not contain any high value habitats for bats (being predominantly mown grass) it is accepted that requiring an additional survey in the mid-season would not yield any further information that would alter the assessment of site importance for bats.

Overall, it is considered that the level of survey effort being carried out is in accordance with best practice guidelines.

The feature of most importance/interest to bats appears to be the hedgerow on the northern boundary of the site. The survey data collected also appears to show that the

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majority of the bat activity recorded on this boundary is from light tolerant bats such as Common pipistrelle. However, as shown in the paragraph above, there were some records of light sensitive bats present. The report submitted by Ecobat shows that the light sensitive bats were in the lowest percentile for activity.

The Phase II Bat Survey Report by BJ Collins (September 2025) states that the impacts on light sensitive bats cannot be avoided but it provides mitigation measures instead. The measures include modern baffles and floodlight design to reduce the extent of spillage from the pitch itself as well as a curfew of 10pm when the flood lighting is switched off (this has been amended and conditioned). This results in 5 lux (unit of illuminance) falling onto the boundary hedgerow over the largest part of the new facility and an isolated area with 15 lux when the flight lights are on. A “red” lighting scheme is also proposed for the car park, which is the installation sitting immediately north of the pitch. The lighting for the car park will also be switched off with the curfew for the flood lights to ensure the whole site is unlit at this point.

Whilst with all the measures in place, there is still some residual light spill on the hedgerow this has been minimised as much as possible through design and other measures which is considered proportionate. The very low presence of light sensitive bats as evidenced in the report suggests that the proposal will not have a significant impact upon the favourable conservation status of these species. The site has much more activity from more light tolerant species such as Common Pipistrelle and these are likely to be unaffected by the proposals as they stand.

Therefore a condition is proposed that the mitigation in the Phase II Bat Survey Report by BJ Collins (September 2025), “the floodlighting scheme in its mitigated specification, (see Surfacing Standards, project code G-227681, dated 09-09-2025 (designer M Bugg), appendix B), is implemented as designed, and this requirement should be subsequently monitored. (condition 5)

This proposal is therefore acceptable in relation to policies NE1 and NE5 of the Local Plan 2040.

### **Biodiversity Net Gain**

Policy NE5 of the local Plan 2040 requires developments to deliver a minimum of 10% measurable net gain in biodiversity to be maintained for a minimum of 30 years in accordance with the Environment Act 2021.

The information submitted, with this application, shows the baseline habitats that are included within the metric. The development is creating some BNG onsite in the form of creation of mixed scrub. Despite this, the development will result in a loss of biodiversity (1.22 unit deficit). It is stated in the Biodiversity Net Gain Metric Cover Report by BJ Collins (September 2025), offsite units will be secured to meet the biodiversity objective. This is conditioned (condition 11 and 12) and the information is required at the discharge of condition stage.

Therefore, the proposal complies with policy NE5 of the Winchester Local Plan.

### **Sustainability**

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The all-weather pitch has been designed to minimise environmental impact through its construction and operation. Sub-base aggregates will be locally sourced to lower the facilities carbon footprint.

The proposal therefore complies with policy CN3 of the Local Plan.

### **Sustainable Drainage**

The drainage engineer has been consulted on the proposed development. In principle the engineer is satisfied with the submitted Drainage Strategy prepared by Surfacing Standards Limited (Ref:G-227681, dated 10 October 2025), which adequately addresses the relevant flood risk and drainage considerations. The proposed arrangements shown on the Proposed AGP Drainage Layout drawing are also acceptable in principle.

However, while the strategy states that infiltration testing was undertaken in one trial pit, the design uses a conservative assumed infiltration value. A confirmed, site-specific infiltration rate is essential to validate the sizing and performance of the proposed infiltration SuDS—particularly the soakaway, whether used for primary drainage or exceedance management.

This could be conditioned and a pre commencement surface water drainage condition is recommended requiring submission and approval of the final SuDS design based on confirmed infiltration rate (condition 10).

Therefore, the proposal complies with policy NE6 of the Local plan 2040.

### **Equality**

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

### **Planning Balance and Conclusion**

In conclusion, The Playing pitch strategy is clear in showing that there is a need for this type of facility not only for the school, but for community use. The site is considered suitable in that it clusters existing sporting uses together. Although this is a countryside location, policies make it clear that sporting facilities such as this are more suited to countryside locations.

When considering the impact to the character of the surrounding area, this has been assessed in relation to its existing context and it was concluded that the development would not result in an unacceptable level of impact.

Although the introduction of an AGP in this location would result in some noise and light pollution, it has been kept to a minimum level that it is considered acceptable and would not result in any material planning harm to neighbouring amenities.

There would be no significant impact in relation to highways, ecology, drainage and it is considered to be acceptable in terms of environmental impacts.

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Therefore, the proposal for an AGP in this location is acceptable in relation to all relevant planning policy.

**Recommendation**

Application granted subject to the following conditions:

1. The development hereby permitted shall begin no later than 3 years from the date of this decision.

Reason: To comply with the provisions of Section 91 (1) of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the plans listed below:

Location plan 01  
Proposed site plan – 02 Rev 1  
Proposed layout 03 Rev 1  
Topographical survey 04  
Proposed elevation 05 Rev 1  
Proposed drainage layout 07  
Proposed field layout 08  
Infill containment measures 09

Reason: For the avoidance of doubt, to ensure that the proposed development is carried out in accordance with the plans and documents from which the permission relates to comply with Section 91 of the Town and Country Planning Act 1990.

3. Prior to the use of the 3G pitch hereby permitted, a scheme of landscaping for the site must be submitted to and approved in writing by the Local Planning Authority specifically showing details of planting (trees and vegetation) along the western and northern boundaries.

The details shall include: Schedules of plants noting species, plant sizes and proposed numbers/densities an implementation programme providing sufficient specifications to ensure successful cultivation of trees, shrub, grass establishment and boundary treatments.

The scheme shall ensure;

a) completion of the approved landscape scheme within the first planting season following completion of development

b) Any tree shrubs or plants that die or become seriously damaged within five years of this development shall be replaced in the following year by plants of the same size and species in the same location.

Reason: To reduce the light spillage, limiting the development's impact on the rural character of the area.

4. No development, or works of site preparation or clearance, shall take place until details, including plans and cross sections of the existing and proposed ground levels of the

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development and the boundaries of the site and the height of the ground floor slab and damp proof course in relation thereto, have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory relationship between the new development and adjacent buildings, amenity areas and trees.

5. The development shall be carried out in accordance with the measures, conclusions and recommendations set out within the Phase II Bat Survey Report by BJ Collins (September 2025), "the floodlighting scheme in its mitigated specification, (see Surfacing Standards, project code G-227681, dated 09-09-2025 (designer M Bugg), appendix B) and the Preliminary Ecological Appraisal (extended) report by BJ Collins dated Sept 2025. Thereafter, the compensation measures shall be permanently maintained and retained in accordance with the approved details.

Reason: To provide adequate mitigation and enhancement for protected species.

6. The development shall be carried out in accordance with the measures, conclusions and recommendations set out within the Noise Impact assessment (ref 11271/GK Rev B) dated 14.01.26. Thereafter, the compensation measures shall be permanently maintained and retained in accordance with the approved details.

Reason: To provide adequate protection to local residents in relation to noise.

7. The development shall be carried out in accordance with the measures, conclusions and recommendations set out within the Sport Lighting Statement dated 4.2.26 and the Proposed lighting scheme (G-227681) dated 11.3.26. Thereafter, the compensation measures shall be permanently maintained and retained in accordance with the approved details.

Reason: To provide adequate mitigation and enhancement for protected species.

8. No additional lighting shall be installed on the development site.

Reason: To ensure that bats and other nocturnal species are not adversely impacted by the lighting and to limit light spillage from the development and in relation to neighbouring amenities.

9. The external lighting will not be switched on between the hours of 21:15 in the evening and 08:00 Monday to Friday and 18:15 and 08:00 Saturday to Sunday.

Reason To protect the appearance of the area, the environment and local residents from light pollution.

10. Detailed proposals for the disposal of foul and surface water shall be submitted to and approved in writing by the Local Planning Authority before the commencement of the development hereby permitted.

The details shall include a verified infiltration test result, undertaken in accordance with the relevant standards and used directly in the hydraulic design calculations.

The approved details shall be fully implemented before occupation of the development hereby permitted.

Reason: To ensure satisfactory provision of foul and surface water drainage.

11. Development may not be begun on site unless:

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- (i) a biodiversity gain plan has been submitted to the planning authority; and
- (ii) The planning authority has approved the plan.

In making an application to discharge the biodiversity gain condition the following information shall be provided:

- (a) information about the steps taken or to be taken to minimise the adverse effect of the development on the biodiversity of the onsite habitat and any other habitat;
- (b) the pre-development biodiversity value of the onsite habitat;
- (c) the post-development biodiversity value of the onsite habitat;
- (d) any registered offsite biodiversity gain allocated to the development and the biodiversity and the biodiversity value of that gain in relation to the development;
- (e) any biodiversity credits purchased for the development; and
- (f) any such other matters as the Secretary of State may by regulations specify.

Reason: To ensure an appropriate setting to the development and to secure a net gain in biodiversity in accordance with the statutory framework introduced by Schedule 7A of the Town and Country Planning Act 1990 and paragraph 193 of the National Planning Policy Framework (2024).

12. The development shall not commence until a Habitat Management and Monitoring Plan (the HMMP), prepared in accordance with the approved Biodiversity Gain Plan under Condition 11 has been submitted to and approved in writing by the Local Planning Authority (LPA). The HMMP shall include the following details:

- (a) the roles and responsibilities of the people or organisation(s) delivering the HMMP;
- (b) any necessary legal mechanism or covenant for securing the monitoring over the relevant period;
- (c) the planned habitat creation and enhancement works to create or improve habitat to achieve the biodiversity net gain in accordance with the approved Biodiversity Gain Plan;
- (d) the management measures to maintain habitat in accordance with the approved Biodiversity Gain Plan for a period of 30 years from the completion of development;
- (e) a proposed definition of 'completion of development' in respect of the development hereby approved.
- (f) The approved Biodiversity Gain Plan shall be maintained for at least 30 years after the development is complete.

The approved habitat creation and enhancement works shall be implemented in full within six months of the date of their written approval and be shall be maintained for at least 30 years after the development is completed. Notice in writing shall be given to the LPA once the habitat creation and enhancement works as set out in the HMMP have been completed.

Reason: To ensure an appropriate setting to the development and to secure a net gain in biodiversity in accordance with the statutory framework introduced by Schedule 7A of the Town and Country Planning Act 1990 and paragraph 193 of the National Planning Policy Framework (2024)

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13. No development shall be brought into use until the parking and turning areas have been provided within the site in accordance with the approved plans. These areas shall be retained for this purpose.

Reason: In the interests of highway safety.

14. The use of the development hereby permitted shall not be open to customers outside the following times 08:00 – 21:00 Monday to Friday 09:00 – 18:00 Saturday to Sunday with a no whistle policy after 18:00 on all days.

Reason: In the interests of the amenities of neighbouring properties.

15. No development shall take place until a Construction Traffic Management Plan (CTMP) including the following details has been submitted to, and approved in writing by, the Local Planning Authority:

- a) parking for vehicles of site personnel, operatives and visitors;
- b) loading and unloading of plant and materials;
- c) storage of plant and materials;
- d) measures to ensure that vehicles leaving the site do not deposit mud or other detritus on adjoining roads and the public highway network;
- e) construction vehicle routing to and from the site;

The approved CTMP shall be adhered to throughout the construction period.

Reason: In the interests of highway safety.

**Informatives:**

01. In accordance with paragraph 39 of the NPPF (December 2024), Winchester City Council (WCC) take a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC:

- offer a pre-application advice service and,
- update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions.

In this instance a site meeting was carried out with the applicant.

In this instance the applicant was updated of any issues after the initial site visit.

02. This permission is granted for the following reasons:

The development is in accordance with the Policies and Proposals of the Development Plan set out below, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

3. The Local Planning Authority has taken account of the following development plan policies and proposals:-

SP3 – Development in the countryside

D1 – High quality, well designed and inclusive places

D2 – Design principles for Winchester Town

D7 – Development standards

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- T1 - sustainable and active transport and travel
- T2 – Parking for new developments
- T4 – Access for new developments
- NE1 – Protecting and enhancing biodiversity and the natural environment
- NE3 – Open space, sport and recreation
- NE4 – Green and blue infrastructure
- NE5 – biodiversity
- NE8 – south downs national park
- NE9 – landscape character
- NE10 – protecting open areas
- NE13 – Leisure and recreation in the countryside
- NE14 – rural character

4. All building works including demolition, construction and machinery or plant operation should only be carried out between the hours of 0800 and 1800 hrs Monday to Friday and 0800 and 1300 hrs Saturday and at no time on Sundays or recognised public holidays. Where allegations of noise from such works are substantiated by the Environmental Protection Team, a Notice limiting the hours of operation under The Control of Pollution Act 1974 may be served.

5. During Construction, no materials should be burnt on site. Where allegations of statutory nuisance are substantiated by the Environmental Protection Team, an Abatement Notice may be served under The Environmental Protection Act 1990. The applicant is reminded that the emission of dark smoke through the burning of materials is a direct offence under The Clean Air Act 1993.

6. Please be respectful to your neighbours and the environment when carrying out your development. Ensure that the site is well organised, clean and tidy and that facilities, stored materials, vehicles and plant are located to minimise disruption. Please consider the impact on your neighbours by informing them of the works and minimising air, light and noise pollution and minimising the impact of deliveries, parking and working on public or private roads. Any damage to these areas should be remediated as soon as is practically possible. For further advice on this please refer the Construction Code of Practice <http://www.ccscheme.org.uk/index.php/ccs-ltd/what-is-the-ccs/code-of-considerate-practice>

7. The applicant is advised that one or more of the Conditions attached to this permission need to be formally discharged by the Local Planning Authority before works can commence on site. Details, plans or samples required by Conditions should be submitted to the Council at least 8 weeks in advance of the start date of works to give adequate time for these to be dealt with. If works commence on site before all of the pre-commencement conditions are discharged then this would constitute commencement of development without the benefit of planning permission and could result in Enforcement action being taken by the Council.

The submitted details should be clearly marked with the following information:

The name of the planning officer who dealt with application

The application case number

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Your contact details

The appropriate fee.

Further information, application forms and guidance can be found on the Council's website - [www.winchester.gov.uk](http://www.winchester.gov.uk)

8. Replacement of trees is enforceable in law and failure to comply with the condition could result in the issue of a tree replacement notice and prosecution if the local planning authority believes that the criteria of the condition has not been met. Trees make an important contribution to the character of the landscape, creating a green environment which we all enjoy. Winchester City Council encourages the planting of new trees to replace any that are felled in order to maintain the positive benefits that trees provide.

9. Paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 states that planning permission is deemed to have been granted subject to the "biodiversity gain condition" which means development granted by this notice must not begin unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

This permission will require the submission and approval of a Biodiversity Gain Plan before development is begun.

The planning authority, for the purposes of determining whether to approve the Biodiversity Gain Plan, would be Winchester City Council

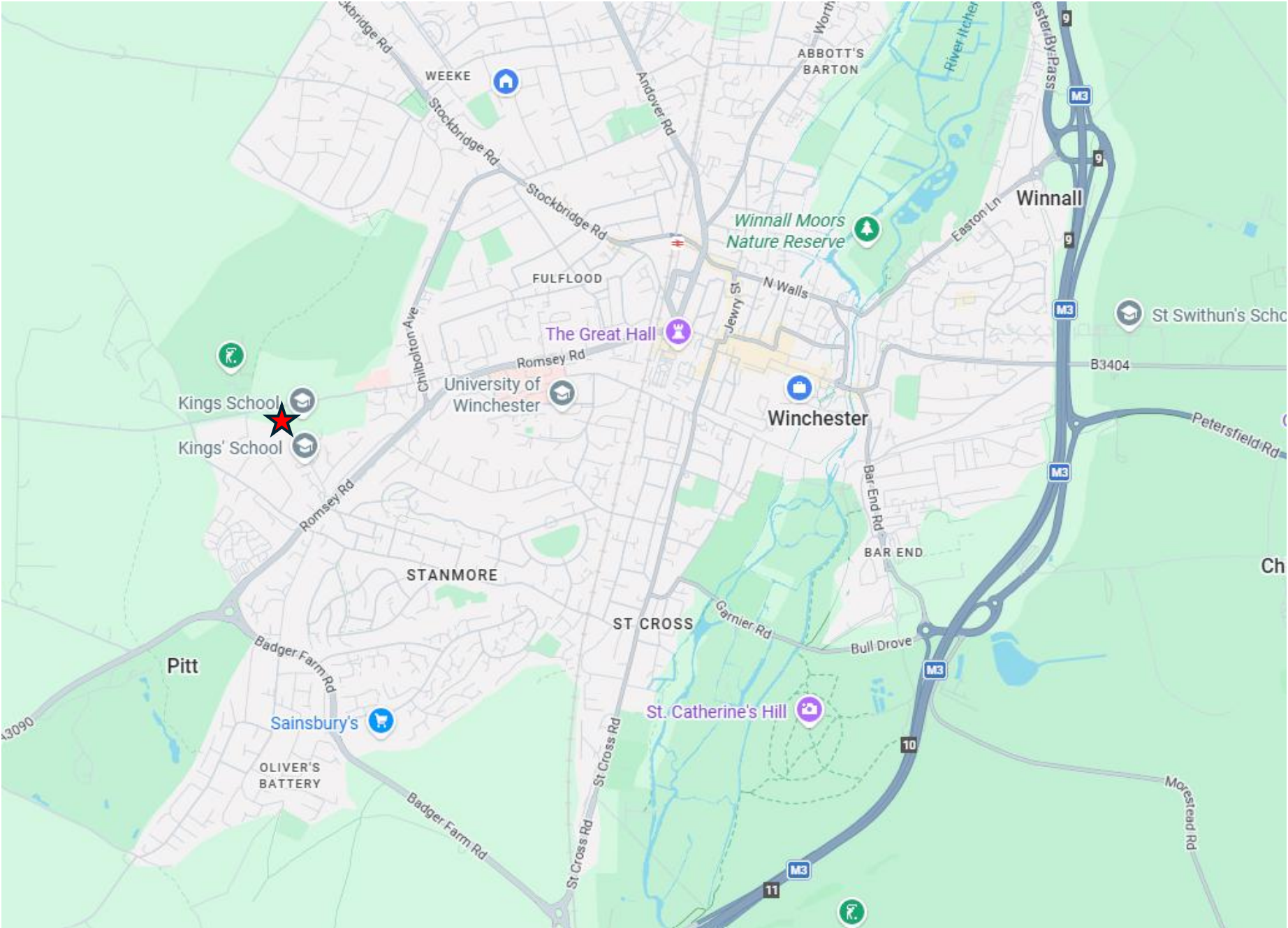
For guidance on the contents of the Biodiversity Gain Plan that must be submitted and agreed by the Council prior to the commencement of the consented development please see the link: [Submit a biodiversity gain plan - GOV.UK \(www.gov.uk\)](http://www.gov.uk)

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# Proposed 3G Artificial Grass Pitch (AGP) at Kings School, Winchester

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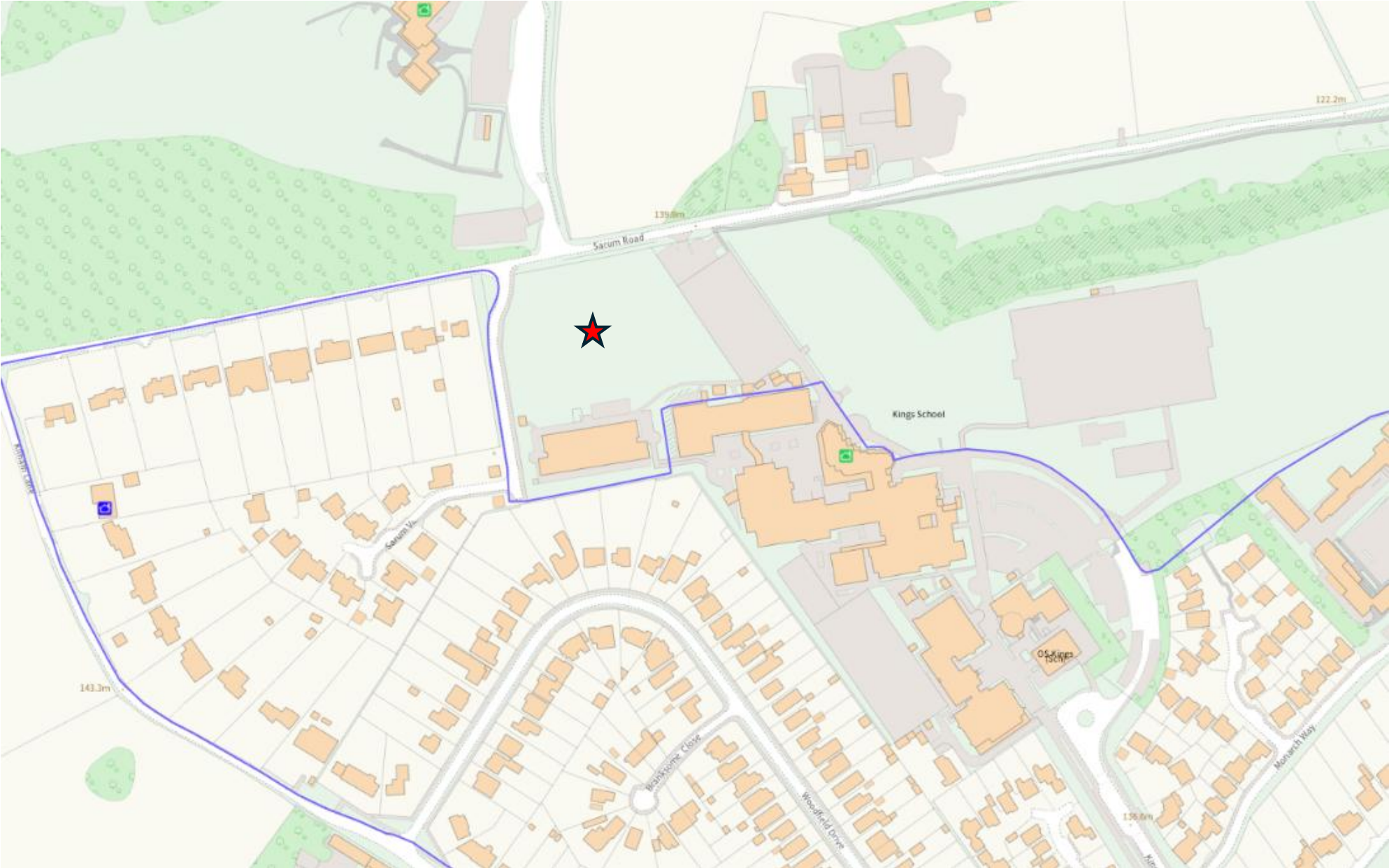
# Wider site location



# Site photo

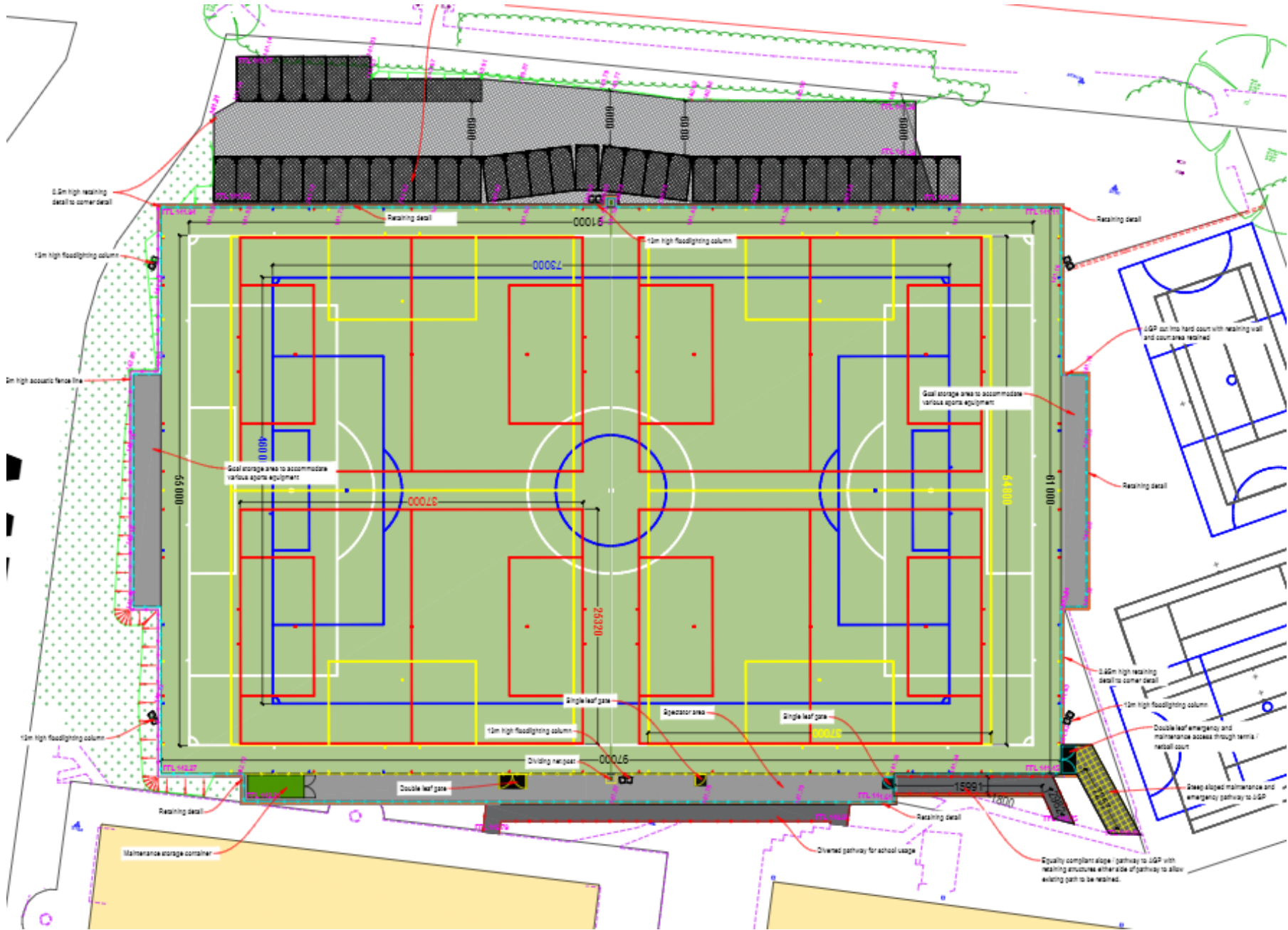


# Settlement boundary



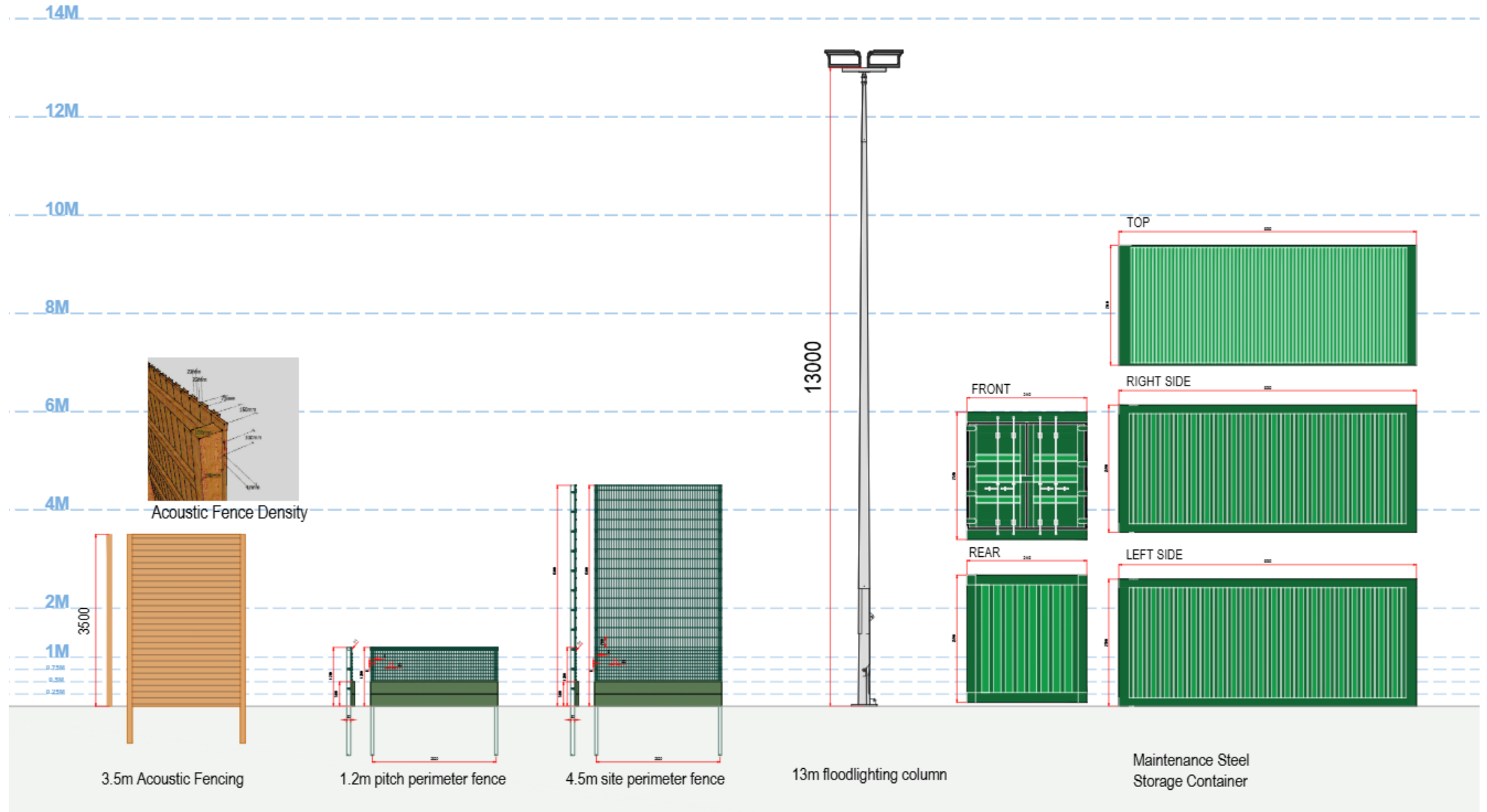


# Proposed pitch



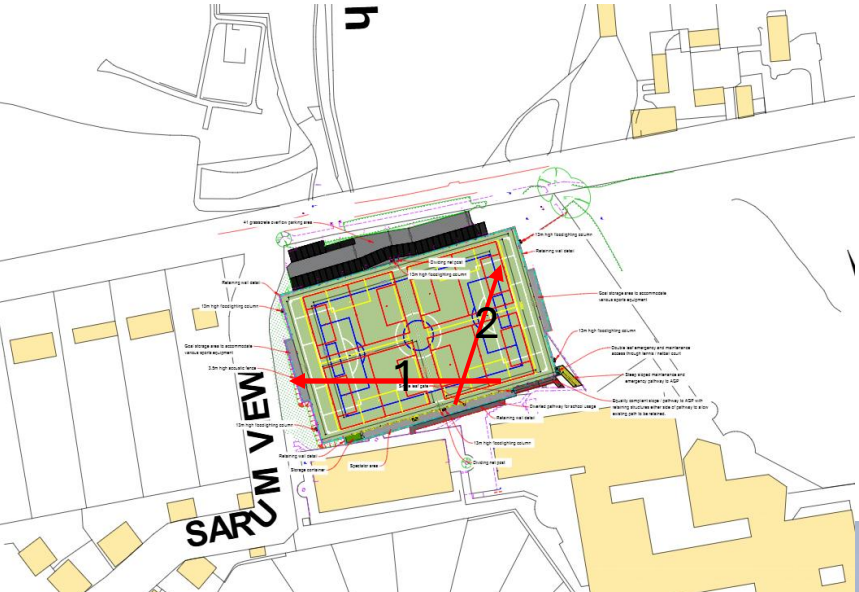
# Elevations of fences lighting and storage container

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# Photos







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The application is reported to Committee due to the number of objections received contrary to the Officer's recommendation.

### **Amendments to Plans Negotiated**

Amended plans were provided on the 20<sup>th</sup> and 23<sup>rd</sup> February 2026. These plans show the following:

- Reduced the height of the proposed extension
- Retained the existing height of the parapet wall
- Replaced hipped slate roof with metal roof with standing steams
- Replaced upper storey fenestration with roof dormer windows
- Set the roof back approximately 1.2 metres from the front
- Revised fenestration

The plans were readvertised to neighbours via letter notification and in the paper.

### **Site Description**

Monument House, 5 Upper High Street, is an unlisted three-storey building situated on the west side of Upper High Street, within the Winchester Conservation Area.

The building is rendered in light blue with a parapet partially screening a hipped artificial slate roof set behind. On the ground floor, there is a wide-spanning shop window extending across the full width. Each storey above on the front elevation features two windows.

The building forms the southmost building of a terrace of 3 (No.5-7). The middle property, No.6 Upper High Street is Grade II listed building. It stands at a higher level to the adjoining building and is more prominent by virtue of its yellow brickwork and large windows. No.7, on the other side, stands at a similar height to No.5 (the application site), which is narrower and of different design. Listed Building Consent is required on this occasion as the application site adjoins a listed building.

The building is currently in use as offices. However, Prior Approval was granted for the creation of 6No. residential units within the premises under planning application reference 24/02048/PNRCOU.

### **Proposal**

The proposal is for the addition of an extra storey to provide two flats, including minor external alterations and connection to the neighbouring listed building at No.6.

The proposal is for an extension to the existing Prior Approval permission under planning reference 24/02048/PNRCOU.

### **Relevant Planning History**

**Case No: 25/01678/LIS**

WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

85/01229/OLD - Erection of single storey second floor rear extension, construction of new roof and other alterations - Post Office, Upper High Street Winchester. Permitted 28th November 1985.

24/02048/PNRCOU - Change of use from Class E Office to Residential Flats (Class MA Use Class E to C3). Internal Alterations to Provide 6 No. flats. Prior Approval Required and Approved 14th November 2024.

25/01677/FUL - Addition of an extra storey to 5 Upper High Street to provide two flats, including minor external alterations and connection to the neighbouring listed building (revised plans). Not yet determined.

### **Consultations**

Service Lead – Built Environment (Historic Environment) – No objection subject to conditions

### **Representations:**

City of Winchester Trust – No objection

The trust considers that this would be an improvement to the street scene and would have the added benefit of helping to safeguard the fabric of the adjacent listed building at No.6 Upper High Street. In view of the location, we are assuming that, if consent is given to this proposal, there will be a condition preventing any occupiers from obtaining a resident's parking permit.

**6** Objecting Representations received from different addresses citing the following material planning reasons:

- Limited car parking spaces – further pressure on road network
- Area has reached residential capacity with overdevelopment of HMOs
- Additional storey would appear overbearing and overshadow with a harmful impact on outlook
- Detrimental to the appearance and character of the area
- Concerns on waste disposal arrangements
- Question rights of access to the building involving the courtyard of Wessex Court
- Impact the historical design
- Drainage concerns
- Harm the balance and symmetry of No.5, 6 and 7
- Structural concerns on No.5 (listed building)
- Overdevelopment of the site
- Would provide poor quality housing

**0** Supporting Representations received.

### **Relevant Government Planning Policy and Guidance**

National Planning Policy Framework (NPPF)

Main Issues

**Case No: 25/01678/LIS**

WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

(a) Impact on the special interest/significance of the Listed Building

(b) Impact on Protected Species

(a) Impact on the special interest/significance of the Listed Building

Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that when considering whether to grant listed building consent for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Considerable weight and importance must be given to this duty.

The building also lies within the Winchester Conservation Area, wherein the Local Planning Authority is statutorily obliged to pay special attention to the desirability of preserving or enhancing the character or appearance of the area in accordance with Section 72(1) of the 1990 Act.)

Section 16 of the National Planning Policy Framework requires that Local Planning Authorities should take account of the desirability of sustaining or enhancing the significance of heritage assets. Paragraph 212 states that when considering the impact of the proposed works on the significance of a designated heritage asset, great weight should be given to the asset's conservation, irrespective of whether any potential harm amounts to substantial harm, total loss or less-than-substantial harm to its significance. Paragraph 214 states that where a proposed development will lead to substantial harm applications should be refused unless it is demonstrated that the harm is necessary to achieve substantial public benefits. Paragraph 215 states that where a development proposal will cause harm to the significance of a designated heritage asset that is less-than-substantial harm, that harm is weighed against the public benefits of those works, including, where appropriate, securing its optimum viable use.

In addition to the above, it is noted that the Government published a draft version of the NPPF on the 16th of December 2025. The consultation period for the aforementioned document has expired and it is anticipated that a final version of the NPPF will be released in Spring 2026. Whilst the draft NPPF is a consultation document, it is considered that the proposed policies within it are a material consideration and must be given a degree of weight at the present time.

In physical terms, due to its proposed roof design, it is considered the proposed means of connection at roof level between Nos. 5 and 6 would be acceptable, preventing water ingress to both buildings through the roof.

There are residual concerns that the structural engineer's assessment is based on assumed loadings rather than evidenced loading, and the construction of an additional

**Case No: 25/01678/LIS**

WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

storey has potential to add to the weight carried by the external wall of No.6. However, it is appreciated that the structural design has yet to be finalised, noting the annotation to drawing TH0057 -PL13A 'Structural Design' subject to further input from structural engineer. It states that connections to the party wall are to be non-intrusive to ensure no extra loading on No.6. It is considered reasonable to seek clarification on how this would be achieved, therefore condition 5 has been recommended, requiring full details of structural works prior to the commencement of development.

In visual terms, the proposal will retain the existing height of the parapet wall. The form and style of the proposed mansard style roof form is of a type seen on historic buildings throughout Winchester. Due to the proposed extension being set back approximately 1.2 metres from the front wall of the building, it is considered to be visually recessive from ground floor level, therefore limiting its visual impact. In addition, the extension is considered to preserve the visual balance of the terrace of No.s 5-7 Upper High Street. This is due to the existing front wall of the property being retained and the proposed roof extension being set back and set below the ridge of No.6 Upper High Street, which is a listed building, thus preserving its contextual hierarchical position within the street scene and preserving the features and qualities of the listed building and the conservation area.

The fenestration to the front is considered to be appropriate, retaining its original identity, with appropriate spacing and proportion of windows and openings. However, to ensure these windows and external doors are provided to a high standard, a condition for detailed drawings to be submitted and approved before commencement of the works has been recommended.

As to the infilling of the shopfront, this is considered to be acceptable due to lack of historic importance and that it does not contribute positively to the character of the immediate area.

In terms of the materials, the walls of the property would be render in a paint finish with its colour to be confirmed. The proposed extension would consist of a composite slate effect tile with a rolled head ridge. Given its prominent position within Winchester's Conservation Area and limited information as to the proposed materials, a condition requiring material details to be submitted and approved to the Local Planning Authority prior to the commencement of works has been recommended.

It is considered that the proposed development will result in a degree of less than substantial harm to the significance of the setting and historic interest of the listed building. It is considered that the proposal will preserve the character and appearance of the conservation area in accordance with the NPPF.

(b) Impact on Protected Species

Although the listed building consent regime regulates works for the demolition, extension or alteration of listed buildings, the Natural Environment and Rural Communities (NERC)

**Case No: 25/01678/LIS**

WINCHESTER CITY COUNCIL  
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Act 2006 places a duty on all local authorities to consider conserving biodiversity in their functions, including determining applications for listed building consent.

A Preliminary Roost Appraisal was carried out on the building as evidence by the Phase 1 Daytime Bat Survey Report by Dr Jonty Denton (June 2025). The assessment concluded that the building has negligible potential for roosting bats. It is considered that satisfactory survey work has been undertaken and is in accordance with best practice guidelines.

### **Equality**

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

### **Planning Balance and Conclusion**

The design, scale and form of the proposed extension particularly its subservient roof profile, setback position and retention of the existing parapet are considered to preserve the special architectural and historic interest of the Grade II listed building at No.6 Upper High Street and maintain its prominence within the terrace. The proposal is also considered to preserve the character and appearance of the Winchester Conservation Area.

In the light of the above and having regard to the requirements of the Planning (Listed Buildings and Conservation Areas Act) 1990 and the NPPF, subject to the recommended conditions, the works would preserve the special interest and significance of the listed building, thereby sustaining its significance as a designated heritage asset. The works would also preserve the appearance, character and significance of the Winchester Conservation Area.

Overall, the development will give rise to less than substantial harm to the significance of the listed building. This harm is limited and is considered capable of being mitigated through conditions. In relation to biodiversity, the Local Planning Authority has a duty under the Natural Environment and Rural Communities Act 2006 to consider protected species. A Preliminary Roost Appraisal concluded that the building has negligible potential for roosting bats, and the survey work undertaken is considered satisfactory and in line with best practice. The proposal is therefore compliant with the statutory tests and relevant heritage policies, and it is concluded that the development is acceptable.

### **Recommendation**

Consent subject to the following conditions:

### **Conditions**

**Case No: 25/01678/LIS**

WINCHESTER CITY COUNCIL  
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1. The works hereby consented to shall be begun before the expiration of three years from the date of this consent.

Reason: To comply with the provision of Section 18(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

2. The development hereby approved shall be constructed in accordance with the following plans received: -

- Proposed Basement and Ground Floor Plans - PL06
- Proposed First and Second Floor Plans - PL07
- Proposed Loft and Roof Plans - PL08 REV B
- Proposed Elevations - PL09 REV A
- Proposed Street View - PL10 REV A
- Proposed Sections - PL11 REV A
- Location Plan, Existing and Proposed Block Plan - PL12
- Proposed Connection Details - PL13 REV A
- Heritage Statement
- Planning Statement
- Structural Engineer Notes
- Design and Access Statement - REV A
- European Sites Checklist
- Nutrient and Phosphates Budget Calculator
- Phase 1 Daytime Bat Survey

Reason: For the avoidance of doubt, to ensure that the proposed development is carried out in accordance with the plans and documents from which the permission relates to comply with Section 91 of the Town and Country Planning Act 1990.

3. No related works shall commence on site until full details of all new materials and finishes to be used for the new extension have been submitted to and approved in writing by the Local Planning Authority. The schedule shall be accompanied by labelled samples. Following approval of those details, the works shall be carried out and thereafter retained in strict accordance with the details so approved.

The details to be submitted shall include:

- Rendered masonry, including type of render and paint finish colour.
- Roofing, including the type, size and colour of slates, tiles and membranes, and to the detailing of ridges and flashing

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024.

4. No related works shall commence on site until large-scale details of all new and altered windows and external doors have been submitted to and approved in writing by the Local Planning Authority. The details to be submitted shall include joinery drawings at a scale of 1:10, 1:5 and 1:1 as necessary, showing elevations and sections, the relationship with surrounding

WINCHESTER CITY COUNCIL  
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fabric, and details of finishes. Following approval of those details, the works shall commence on site until large-scale details of all new and altered windows and external doors have been submitted to and approved in writing by the Local Planning Authority. The details to be submitted shall include joinery drawings at a scale of 1:10, 1:5 and 1:1 as necessary, showing elevations and sections, the relationship with surrounding fabric, and details of finishes. Following approval of those details, the works shall be carried out and thereafter retained in strict accordance with the details so approved.

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024.

5. Notwithstanding the approved drawings, no works related works shall commence on site until full details of all works of structural reinforcement and repair have been submitted to and approved in writing by the Local Planning Authority.

This requirement includes the provision of the following information:

- The location of the proposed repair/reinforcement,
- Detailed drawings, specifications or sketches of the means of reinforcement/type of repair, including its relationship with existing and surrounding fabric,
- A brief structural engineer's note, to explain the rationale for the reinforcement considering the present issue and nature of the proposed measures,
- A brief method statement for the installation of new reinforcement and repairs.

Following approval of these details, all works shall be carried out and thereafter maintained in strict accordance with the details so approved.

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024.

**Informatives:**

1. In accordance with paragraph 39 of the NPPF (2024), Winchester City Council (WCC) take a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC: - offer a pre-application advice service and, - update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions.

In this instance pre-application was sought.

# 25/01678/LIS Monument House, 5 Upper High Street, Winchester, Hampshire, SO23 8UT

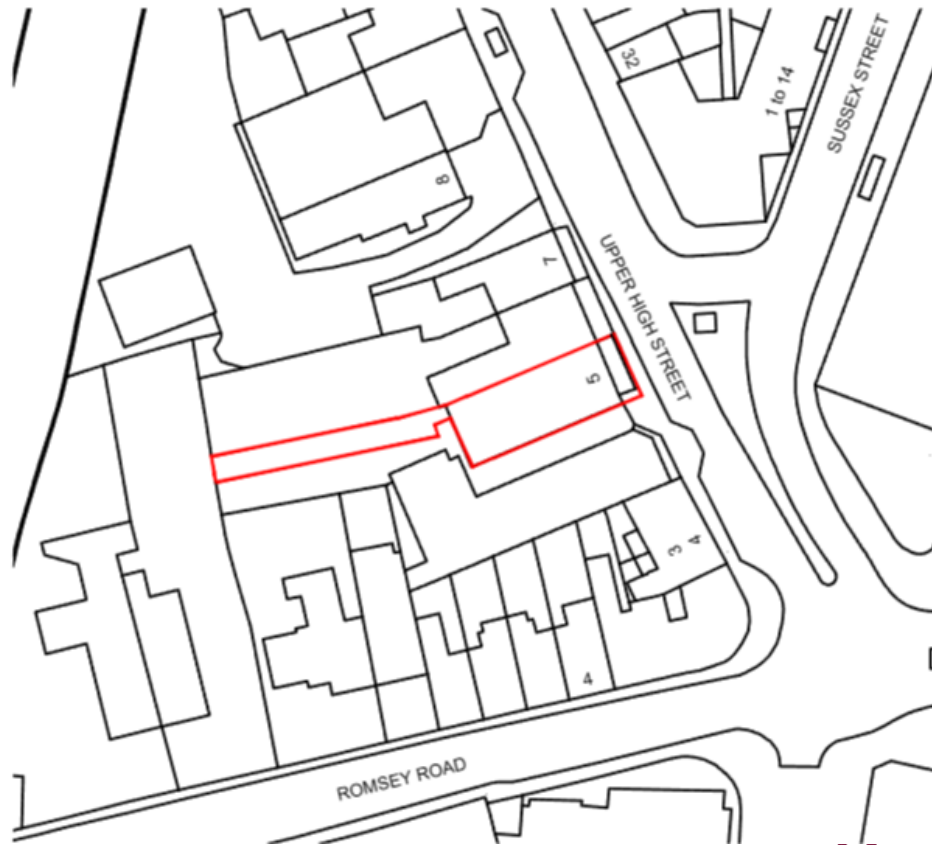
Page 53

**Addition of an extra storey to 5 Upper High Street to provide two flats, cycle stores, including minor external alterations and connection to the neighbouring listed building (revised plans)**



# Location Plan

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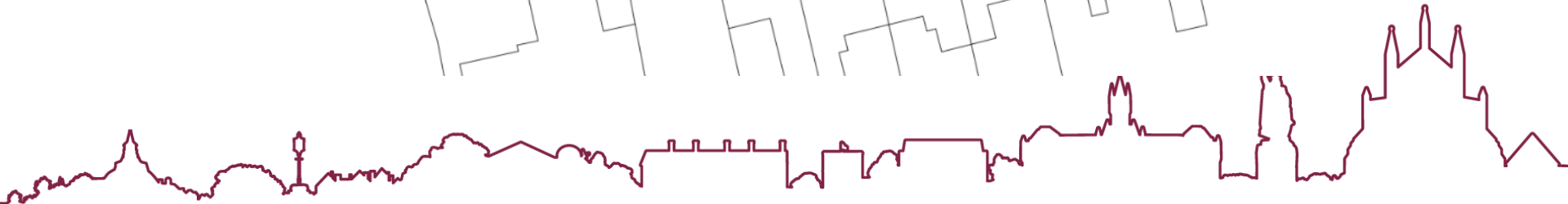
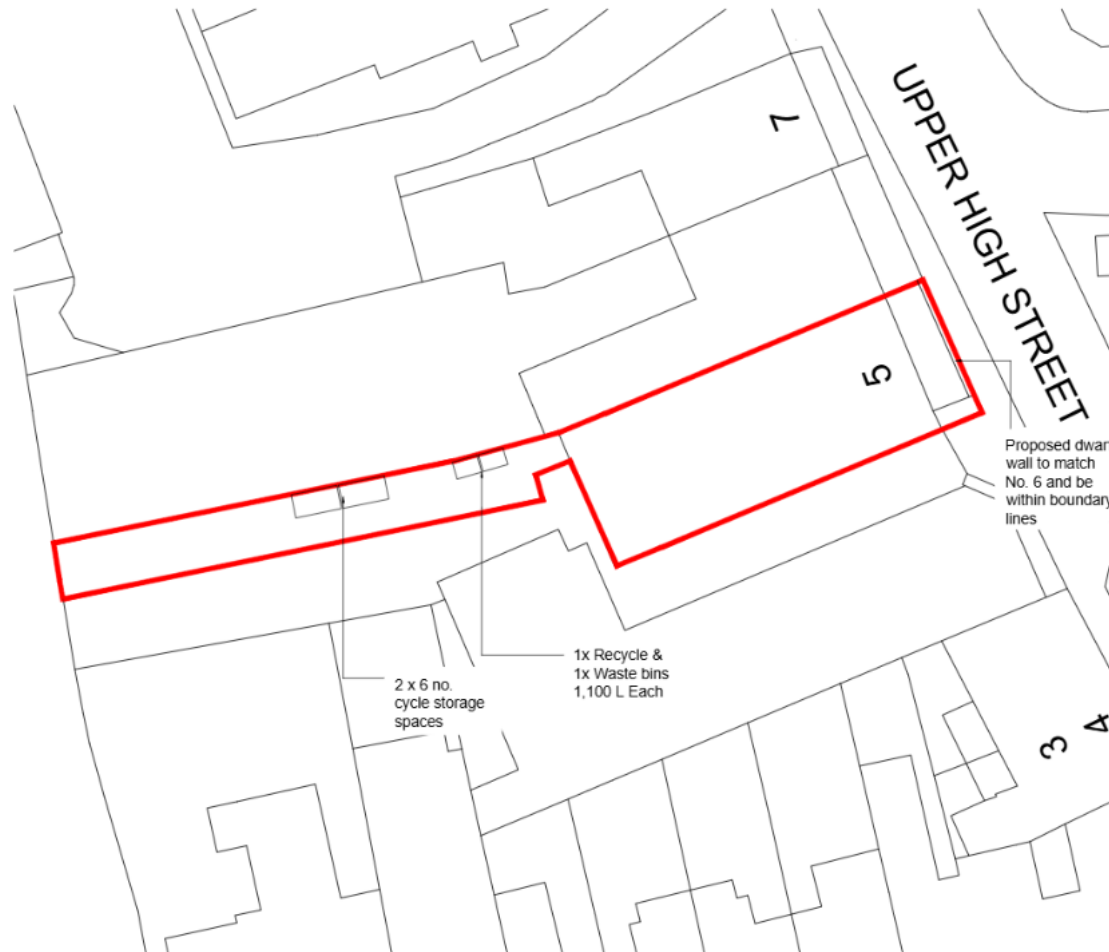


# Aerial Photograph



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# Proposed Block Plan



# Existing Elevations



FRONT ELEVATION  
0002-148



SIDE ELEVATION  
0002-148



REAR ELEVATION  
0002-148





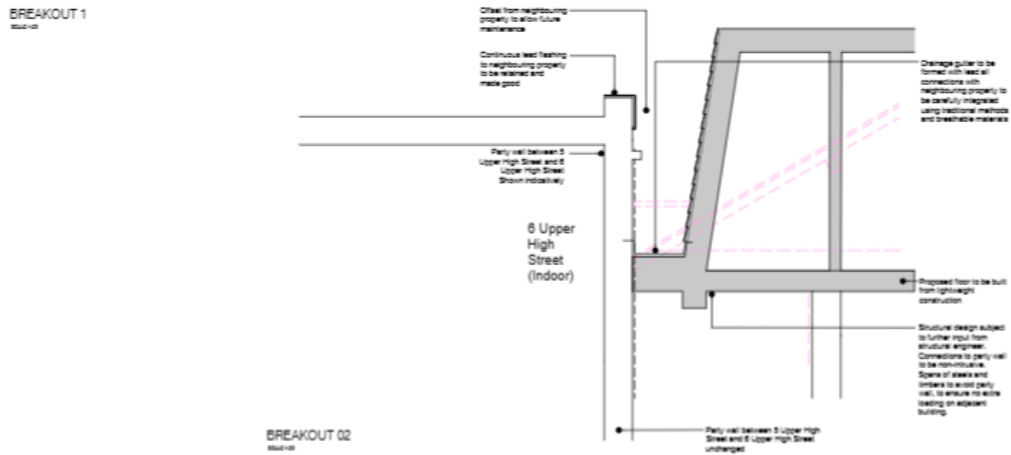
# Existing Street View

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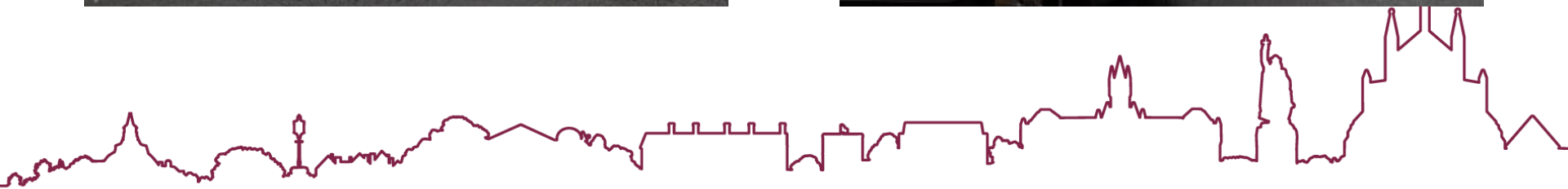
# Proposed Connections Plan



# Site Photos

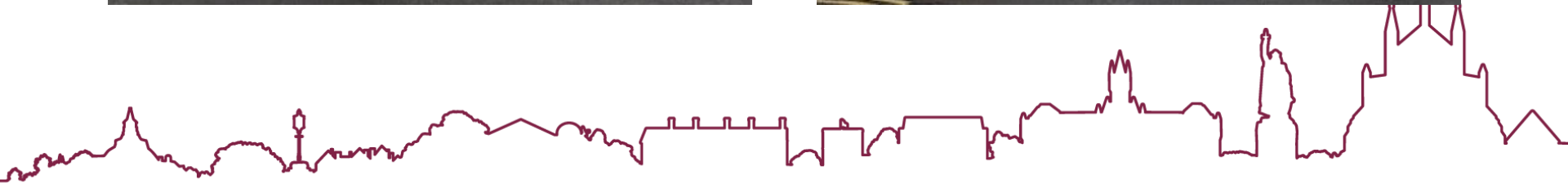


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# Site Photos

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# Recommendation

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Proposal complies with Local Plan policies as is laid out within the report.



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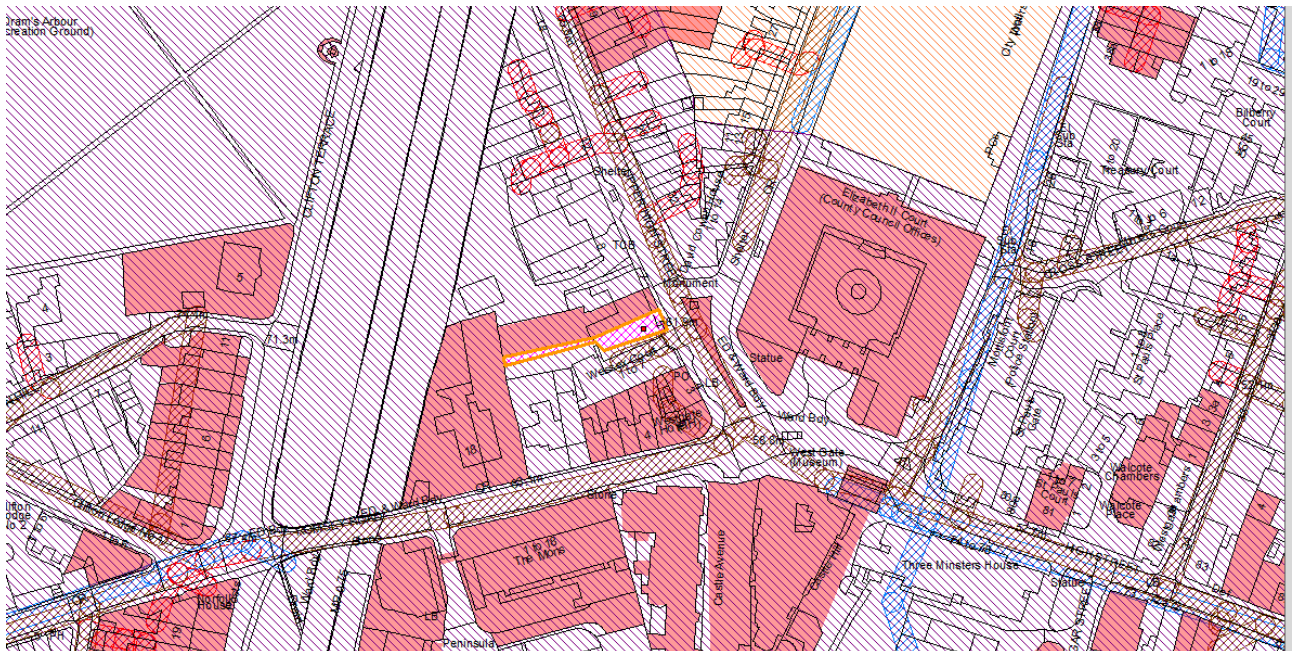
## WINCHESTER CITY COUNCIL PLANNING COMMITTEE

**Case No:** 25/01677/FUL  
**Proposal Description:** Addition of an extra storey to 5 Upper High Street to provide two flats, cycle stores, including minor external alterations and connection to the neighbouring listed building (revised plans)  
**Address:** Monument House 5 Upper High Street Winchester Hampshire SO23 8UT  
**Parish, or Ward if within Winchester City:** St Paul  
**Applicants Name:** Liam Thomas  
**Case Officer:** Joe Toole  
**Date Valid:** 1 September 2025  
**Recommendation:** Permit, subject to phosphate credits being confirmed  
**Pre Application Advice** Yes

### Link to Planning Documents

[Link to page – enter in reference number 25/01677/FUL](#)

<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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### Reasons for Recommendation

The development is recommended for **permission** as it is considered that the design, scale and siting of the proposed mansard roof extension is considered to preserve the character and appearance of the Winchester City Conservation Area and maintain the setting and hierarchy of the adjoining listed building at No.6 Upper High Street.

Furthermore, the proposal would not give rise to unacceptable impacts on neighbouring amenity in terms of overlooking, overshadowing, or overbearing effects. The site is in a

**Case No: 25/01678/LIS**

WINCHESTER CITY COUNCIL  
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highly sustainable location, and the absence of on-site car parking is acceptable given the proximity to services, public transport, and cycle provision.

### **General Comments**

The application is reported to Committee for the purposes of consistency in decision-making, as the associated Listed Building Consent application 25/01678/LIS has been referred to Committee due to the number of objections received.

### **Amendments to Plans Negotiated**

Amended plans were provided on the 20<sup>th</sup> and 23<sup>rd</sup> February 2026. These plans show the following:

- Reduced the height of the proposed extension
- Retained the existing height of the parapet wall
- Replaced hipped slate roof with metal roof with standing steams
- Replaced upper storey fenestration with roof dormer windows
- Set the roof back approximately 1.2 metres from the front
- Revised fenestration

The plans were readvertised to neighbours via letter notification and in the paper.

### **Site Description**

Monument House, 5 Upper High Street is an unlisted three storey building situated on the west side of Upper High Street, within the Winchester Conservation Area.

The building is rendered in light blue with a parapet partially screening a hipped artificial slate roof set behind. On the ground floor, there is a wide-spanning shop window extending across the full width. Each storey above on the front elevation features two windows.

The building forms the southmost building of a terrace of 3 (No.5-7). The middle property, No.6 Upper High Street, is a Grade II listed building. It stands at a higher level to the adjoining building and is more prominent by virtue of its yellow brickwork and large windows. No.7 on the other side stands at a similar height to No.5 (the application site), which is narrower and of different design.

The building is currently in use as offices. However, Prior Approval was granted for the creation of 6No. residential units within the premises under planning application reference 24/02048/PNRCOU.

### **Proposal**

The proposal is for the addition of an extra storey to provide two flats, including minor external alterations and connection to the neighbouring listed building at No.6. The proposed extension would increase the ridge height of the building by approximately 0.2 metres.

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The proposal is for an extension to the existing Prior Approval permission under planning reference 24/02048/PNRCOU.

**Relevant Planning History**

85/01229/OLD - Erection of single storey second floor rear extension, construction of new roof and other alterations - Post Office, Upper High Street Winchester. Permitted 28th November 1985.

24/02048/PNRCOU - Change of use from Class E Office to Residential Flats (Class MA Use Class E to C3). Internal Alterations to Provide 6 No. flats. Prior Approval Required and Approved 14th November 2024.

25/01678/LIS - Addition of an extra storey to 5 Upper High Street to provide two flats, including minor external alterations and connection to the neighbouring listed building (revised plans). Not yet determined.

**Consultations**

Natural England – No objection subject to appropriate mitigation being secured

HCC Highways – No objection.

Naturespace – No comment received

Southern Water – Conditions for details of foul/surface water drainage to be provided

Service Lead – Built Environment (Ecology) – No objection. A Preliminary Roost Assessment was carried out on the building which identified no harm. Satisfied with the required amount of survey work in accordance with best practice guidance.

Service Lead – Built Environment (Historic Environment) – No objection subject to conditions

Service Lead – Engineering, Transport and Special Maintenance (Drainage) - No comment received

Service Lead – Built Environment (Environmental Health Land Contamination) – No adverse comments in relation to contaminated land

**Representations:**

City of Winchester Trust – No objection

The trust considers that this would be an improvement to the street scene and would have the added benefit of helping to safeguard the fabric of the adjacent listed building at No.6 Upper High Street. In view of the location, we are assuming that, if consent is given to this proposal, there will be a condition preventing any occupiers from obtaining a resident's parking permit.

**Case No: 25/01678/LIS**

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**5** Objecting Representations received from different addresses citing the following material planning reasons:

- Limited car parking spaces – further pressure on road network
- Area has reached residential capacity with overdevelopment of HMOs
- Additional storey would appear overbearing and overshadow with a harmful impact on outlook
- Detrimental to the appearance and character of the area
- Concerns on waste disposal arrangements
- Question rights of access to the building involving the courtyard of Wessex Court
- Impact the historical design
- Drainage concerns
- Harm the balance and symmetry of No.5, 6 and 7
- Structural and damp concerns on No.5 (listed building)
- Overdevelopment of the site
- Multiple occupancy development will have an adverse impact on the historic street
- Would provide poor quality housing

**0** Supporting Representations received.

### **Relevant Government Planning Policy and Guidance**

#### National Planning Policy Framework (NPPF)

1. Introduction
2. Achieving sustainable development
3. Plan-making
4. Decision-making
5. Delivering a sufficient supply of homes
7. Ensuring the vitality of town centres
9. Promoting sustainable transport
11. Making effective use of land
12. Achieving well-designed places
14. Meeting the challenge of climate change, flooding and coastal change
16. Conserving and enhancing the historic environment

#### National Planning Practice Guidance (NPPG)

- Air quality
- Appeals
- Appropriate assessment
- Before submitting an application
- Biodiversity net gain
- Brownfield land registers
- Build to rent
- Building Safety: Planning enforcement and the Responsible Actors Scheme (the 'RAS Enforcement PPG')
- Community Infrastructure Levy
- Consultation and pre-decision matters
- Design: process and tools
- Determining a planning application
- Effective use of land

**Case No: 25/01678/LIS**

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- Enforcement and post-permission matters
- Environmental Impact Assessment
- Fees for planning applications
- Flood risk and coastal change
- Historic environment
- Housing and economic land availability assessment
- Housing and economic needs assessment
- Housing supply and delivery
- Land affected by contamination
- Light pollution
- Making an application
- Natural environment
- Neighbourhood planning
- Noise
- Permission in principle
- Plan-making
- Renewable and low carbon energy
- Strategic environmental assessment and sustainability appraisal
- Town centres and retail
- Transport evidence bases in plan making and decision taking
- Travel Plans, Transport Assessments and Statements
- Use of planning conditions
- Viability
- Waste
- Water supply, wastewater and water quality
- When is permission required?

Local Plan 2020 – 2040

Strategic Policy D1 – High Quality, Well Designed and Inclusive Places

Strategic Policy D2 – Design Principles for Winchester Town

Strategic Policy HE1 – Historic Environment

HE2 – Designated Heritage Assets

Strategic Policy HE5 – Protecting the Significance of Heritage Assets (designated and non-designated heritage assets)

HE8 – Applications Affecting Listed Building

HE10 – Development in Conservation Area

Supplementary Planning Document

National Design Guide 2019

High Quality Places 2015

Air Quality Supplementary Planning Document 2021

Residential Parking Standards 2009

Winchester City Centre Conservation Area Appraisal / Management Plans

Historic England Guidance

Conservation Principles Policies and Guidance 2008

Good Practice Advice in Planning 2: Managing Significance in Decision-Taking in the Historic Environment | Historic England (2015)

Good Practice Advice in Planning 3: The Setting of Heritage Assets | Historic England 2<sup>nd</sup> Edition (2017)

**Case No: 25/01678/LIS**

WINCHESTER CITY COUNCIL  
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Historic Environment Good Practice Advice in Planning: 4 Published 30 June 2020  
Enabling Development and Heritage Assets

## **Planning Considerations**

### **Principle of development**

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and paragraph 48 of the National Planning Policy Framework (NPPF) require that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

The application site is within the defined settlement boundary of Winchester, wherein the principle of development such as that proposed is acceptable.

### **Assessment under 2017 EIA Regulations.**

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

### **Housing Provision and Mix**

The proposed change of use involves the erection 2No. self-contained flats. One of the flats would provide 1 bed and the other would provide 2 beds.

The proposal would contribute both to the 1bed and 2bed flat market, therefore it is considered, on balance, to comply with policy H4 of the Local Plan.

All the proposed units are over 39 square metres which is the minimum requirement as outlined within the National Space Standards.

### **Impact on character and appearance of Winchester City Conservation Area**

In visual terms, the proposal will retain the existing height of the parapet wall. The form and style of the proposed mansard style roof form is of a type seen on historic buildings throughout Winchester. Due to the proposed extension being set back approximately 1.2 metres from the front wall of the building, it is considered to be visually recessive from ground floor level, therefore limiting its visual impact. In addition, the extension is considered to preserve the visual balance of the terrace of No.s 5-7 Upper High Street. This is due to the existing front wall of the property being retained and the proposed roof extension being set back and set below the ridge of No.6 Upper High Street, which is a listed building, thus preserving its contextual hierarchical position within the street scene. The fenestration to the front is considered to be appropriate, retaining its original identity with appropriate spacing and proportion.

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As to the infilling of the shopfront, this is considered to be acceptable, due to lack of historic importance and that it does not contribute positively to the character of the immediate area.

In terms of the materials, the walls of the property would be rendered in a paint finish with its colour to be confirmed. The proposed extension would consist of a composite slate effect tile with a rolled head ridge. Given its prominent position within Winchester's Conservation Area and limited information as to the proposed materials, a condition requiring material details to be submitted and approved to the Local Planning Authority prior to the commencement of works has been recommended.

The proposal also involves the erection of 2No. cycle store within the rear garden. Due to limited details of its size and design, a prior commencement condition requiring floor plans and elevations to be provided has been recommended.

The proposed development is therefore considered to comply with policies D1, D7, HE1 and HE10 of the Local Plan and paragraphs 139 and 210 of the National Planning Policy Framework.

### **Development affecting the South Downs National Park**

The application site is located 0.9 km from the South Downs National Park.

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2024. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

Due to the distance and intervening features, an adverse impact on the National Park and its statutory purposes is not identified.

In conclusion therefore the development will not affect any land within the National Park and is in accordance with Section 11a of the National Parks and Access to the Countryside Act 1949.

### **Impact on the Significance of the Listed Building No.6 Upper High Street**

The building adjoins a listed building and also lies within the Winchester Conservation Area having due regard to Section 72(1) of the 1990 Act.)

There are residual concerns that the structural engineer's assessment is based on assumed loadings rather than evidenced loading, and the construction of an additional

**Case No: 25/01678/LIS**

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storey has potential to add to the weight carried by the external wall of No.6. However, it is appreciated that the structural design has yet to be finalised, noting the annotation to drawing TH0057 -PL13A 'Structural Design' subject to further input from structural engineer. It states that connections to the party wall are to be non-intrusive to ensure no extra loading on No.6. It is considered reasonable to seek clarification on how this would be achieved, therefore condition 8 has been recommended, requiring full details of structural works prior to the commencement of development.

The design, scale and form of the proposed extension particularly its subservient roof profile, setback position and retention of the existing parapet are considered to preserve the special architectural and historic interest of the Grade II listed building at No.6 Upper High Street and maintain its prominence within the terrace. To formally assess its impact on the structural loading on No.6, a condition seeking details prior to the commencement of development has been added to this decision.

### **Impact on Neighbouring amenity**

To the front, the proposed roof extension would increase the height of the building and introduce new windows, facing out onto Upper High Street. These alterations are not considered to have an adverse impact on any residential properties.

On the north side, facing No.6 Upper High Street, the proposed roof extension would be set in and slightly hipped away from the side wall of No.6. Whilst it is noted the proposed roof extension would extend out across the entire existing roof form, due to its modest height increase and roof design it is not considered to have an adverse impact in way of overbearing or overshadowing to No.6 sufficient to warrant a reason for refusal. It is acknowledged that there would be some loss of outlook and natural light from the rear second floor window nearest to Monument House, however due to modest increase in roof form, the existing relationship between the properties and its dense urban setting, it is not considered to be adversely harmful on the occupiers of No.6 to warrant a reason for refusal. There would be no windows on this side other than rooflights, therefore it is not considered to cause harmful overlooking.

On the south side, facing Wessex Court, the distance between the side walls of the buildings would remain approximately 3.5 metres. Due to the modest increase in the height of the building, the proposed roof design being set back from the main façade, the separation distance between buildings and its orientation, the proposed works are not considered to appear harmful overbearing or result in the harmful loss of light to the occupiers of Wessex Court. There would be new windows added to the proposed roof extension facing the side of Wessex Court. As the eaves of Wessex Court and the top of the parapet wall of the application site are almost equal, and as the windows proposed would be within the roof space, the majority of the views would be onto the roof of Wessex Court, where there are no habitable rooms with windows. As such, the proposed windows are not considered to cause directly harmful overlooking into the private amenity space of Wessex Court. It is worth acknowledging there is existing neutral overlooking from the existing windows on both the application site and at Wessex Court on this side. The use of the building as residential was approved under the Prior Approval application, planning reference 24/02048/PNRCOU.

On the west (rear) side of the building, the proposed roof would be brought forward to form a mansard design. The proposed roof extension would be offset from the rear retaining  
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wall by approximately 0.5 metres and hipped back slightly. Due to the relationship with Wessex Court where the eaves and parapet wall align, the bulk of the roof form increase would not be felt from the top level of Wessex Court, already having built form in view. It is noted there is an existing roof terrace at Wessex Court, partly facing out onto the rear wall of the application site. Due to its relationship outlined above, the proposed works are not considered to appear overbearing so as to exacerbate the existing position. Whilst it is acknowledged there would be some degree of loss of natural light, due to its orientation this not considered to be sufficient to warrant a reason for refusal. It is worth acknowledging again that this is a dense urban setting, in which close relationships between properties are expected. There would be a rear window within the roof extension, serving a kitchen/lounge. Due to the close relationship to the roof terrace and the fact there is no second-floor window in this position, this window has been recommended to be conditioned to be obscurely glazed and non-opening below 1.7 metres. This is not considered to have a harmful impact on the occupiers of the flat, as there would be another window in this room to offer sufficient levels of natural light and outlook.

There would be shared amenity space within the rear garden for the occupiers of the flats. This is considered to offer an appropriate level of amenity. It is worth noting there are numerous parks and open spaces surrounding the site within Winchester.

Therefore, the proposal complies with policies D1 of the Local Plan.

### **Transport**

The application site is considered to be within a sustainable location within the city of Winchester. It is close to the services of the city centre, with good access to public transport routes. These include being nearby to bus stops and approximately 0.2km from Winchester Railway Station. The scheme only relates to the addition of two flats, all the other flats on the site have been approved under the Prior Approval application planning reference 24/02048/PNRCOU. Whilst there would be no car parking spaces provided for the additional flats, due to its sustainable location and the provision of cycle storage, the proposal is considered to be acceptable.

Therefore, the proposal complies with policies T1, T2 and T3 of the Local Plan.

### **Flooding / Drainage**

The application site is located within Flood Zone 1 (lowest risk of flooding). No information has been provided in terms of surface and foul water drainage. A condition for drainage details to be provided prior to the commencement of development has been added to the decision.

### **Nitrates and Phosphates**

The proposal seeks an increase in the amount of overnight accommodation and the application will have a likely significant effect in the absence of avoidance and mitigation measures on the European sites (Solent and Southampton Special Protection Area (SPA) and Ramsar site, Solent Maritime Special Area of Conservation (SAC), Portsmouth Harbour SPA and Ramsar site, Chichester and Langstone Harbours SPA and SAC, collectively known as Solent SPAs), as a positive contribution of 7.66 Kg/TN/year / 25.64Kg/TN/year pre 2030 and 0.13Kg/TP/year / 0.81Kg/TN/year pre 2030 is made. The authority has  
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concluded that the adverse effects arising from the proposal are wholly consistent with, and inclusive of the effects detailed in the Winchester City Council Position Statement on nitrate neutral development and the guidance on Nitrates from Natural England.

The applicant has submitted a nutrient budget that indicates the amount of nitrogen and phosphates which the Council will require to be mitigated. The Agent has applied for credits to mitigate the phosphate load. They are currently awaiting confirmation from the provider as to the capacity allowance. Once provided, this will be an acceptable approach. A water efficiency calculator is required to meet the final section of the Grampian condition which is secured by condition 5.

This represents the Authority's Appropriate Assessment as Competent Authority in accordance with requirements under Regulation 63 of the Conservation of Habitats and Species Regulations 2017, Article 6 (3) of the Habitats Directive and having due regard to its duties under Section 40(1) of the NERC Act 2006 to the purpose of conserving biodiversity. Consideration of the Ramsar site/s is a matter of government policy set out in the National Planning Policy Framework 2024.

### **Impact on Protected Species**

A Preliminary Roost Appraisal was carried out on the building as evidence by the Phase 1 Daytime Bat Survey Report by Dr Jonty Denton (June 2025). The assessment concluded that the building has negligible potential for roosting bats. It is considered satisfactory survey work has been undertaken and is in accordance with best practice guidelines.

### **Equality**

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

### **Planning Balance and Conclusion**

The proposal has been assessed against the Development Plan, the National Planning Policy Framework, and all other relevant material considerations. The site lies within the defined settlement boundary of Winchester, wherein residential development is considered acceptable in principle. The scheme would provide two additional self-contained flats of an appropriate size and mix, contributing positively to local housing provision and complying with policy H4.

The design, scale and siting of the proposed mansard roof extension are considered to preserve the character and appearance of the Winchester City Conservation Area and maintain the setting and hierarchy of the adjoining listed building at No.6 Upper High Street. Conditions relating to materials and cycle store design will ensure the quality of the development is secured.

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The proposal would not give rise to unacceptable impacts on neighbouring amenity in terms of overlooking, overshadowing, or overbearing effects. The site is in a highly sustainable location, and the absence of on-site car parking is acceptable given the proximity to services, public transport, and cycle provision.

Matters relating to drainage can be satisfactorily addressed by condition. The development would result in a net increase in overnight accommodation and therefore requires mitigation for additional nitrogen and phosphate loading. Suitable mitigation would be secured through a Grampian Condition, supported by an Appropriate Assessment under the Habitats Regulations for nitrates. As to the phosphate credits, the Agent has applied for mitigation. They are currently awaiting confirmation from the provider as to capacity allowance. Subject to this being secured, the development is acceptable.

A Preliminary Roost Appraisal was carried out on the building as evidence by the Phase 1 Daytime Bat Survey Report by Dr Jonty Denton (June 2025). The assessment concluded that the building has negligible potential for roosting bats. It is considered satisfactory survey work has been undertaken and is in accordance with best practice guidelines.

Overall, the proposed development accords with the Development Plan when read as a whole, with no material considerations indicating otherwise. Approval is therefore recommended, subject to the conditions outlined.

### **Recommendation**

Permit subject to the following conditions:

### **Conditions**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 (1) of the Town and Country Planning Act 1990 (as amended).

2. The development hereby approved shall be constructed in accordance with the following plans received: -

- Proposed Basement and Ground Floor Plans - PL06
- Proposed First and Second Floor Plans - PL07
- Proposed Loft and Roof Plans - PL08 REV B
- Proposed Elevations - PL09 REV A
- Proposed Street View - PL10 REV A
- Proposed Sections - PL11 REV A
- Location Plan, Existing and Proposed Block Plan - PL12
- Proposed Connection Details - PL13 REV A
- Heritage Statement
- Planning Statement
- Structural Engineer Notes
- Design and Access Statement - REV A
- European Sites Checklist

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- Nutrient and Phosphates Budget Calculator
- Phase 1 Daytime Bat Survey

Reason: For the avoidance of doubt, to ensure that the proposed development is carried out in accordance with the plans and documents from which the permission relates to comply with Section 91 of the Town and Country Planning Act 1990.

3. No related works shall commence on site until full details of all new materials and finishes to be used for the new extension have been submitted to and approved in writing by the Local Planning Authority. The schedule shall be accompanied by labelled samples. Following approval of those details, the works shall be carried out and thereafter retained in strict accordance with the details so approved.

The details to be submitted shall include:

- Rendered masonry, including type of render and paint finish colour.
- Roofing, including the type, size and colour of slates, tiles and membranes, and to the detailing of ridges and flashing

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policies HE1, HE2, HE3 (Designated Heritage Assets), HE5 (Protecting Significance), HE8 (Listed Buildings), and HE14 (Energy Efficiency) of the Winchester District Local Plan 2020-2040.

4. Prior to the commencement of development hereby approved, details of surface and foul water drainage works shall be submitted to and approved in writing by the Local Planning Authority (LPA). Before these details are submitted an assessment shall be carried out of the potential for disposing of surface and foul water by means of a sustainable drainage system and the results of the assessment provided to the LPA. Where a sustainable drainage scheme is to be provided the submitted details shall:

- a. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- b. provide a management and maintenance plan for the lifetime of the development to secure the operation of the scheme throughout its lifetime.

Prior to the occupation of the buildings hereby approved the surface and foul water drainage works shall be carried out and shall thereafter be managed and maintained in accordance with the agreed management and maintenance plan

Reason: To ensure satisfactory provision of surface and foul water drainage in a sustainable way.

5. The development hereby permitted shall NOT BE OCCUPIED until:
- a) A water efficiency calculation which demonstrates that no more than 110 litres of water per person per day shall be consumed within the development, and this calculation has been submitted to and approved in writing by the Local Planning Authority,

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- b) A mitigation package addressing the additional nutrient input arising from the development has been submitted to and approved in writing by the Local Planning Authority. Such mitigation package shall address all of the additional nutrient load imposed on protected European sites by the development and be implemented in full prior to first occupation and shall allow the Local Planning Authority to ascertain on the basis of the best available scientific evidence that such additional nutrient loading will not have an adverse effect on the integrity of the protected European Sites, having regard to the conservation objectives for those sites; and,
- c) All measures forming part of that mitigation have been secured and submitted to the Local Planning Authority.

Reason; To accord with the Conservation of Habitats and Species Regulations 2017, and Policy CN4 of the Local Plan 2020-2040.

6. Prior to the commencement of development, floor plans and elevations of the cycle stores shall be submitted and approved by the Local Planning Authority and implemented in accordance with the approved details and retained thereafter.

Reason: To ensure that the development presents a satisfactory appearance.

7. The loft level window in the west (rear) elevation serving the kitchen/lounge nearest to Wessex Court shall be glazed with obscure glass which achieves an obscuration level at least equivalent to Pilkington Obscure Glass Privacy Level 4, fixed shut below 1.7 metres finished floor level and shall be retained thereafter in this condition at all times.

Reason: To protect the amenity and privacy of the adjoining residential properties.

8. Notwithstanding the approved drawings, no works related works shall commence on site until full details of all works of structural reinforcement and repair have been submitted to and approved in writing by the Local Planning Authority.

This requirement includes the provision of the following information:

- The location of the proposed repair/reinforcement,
- Detailed drawings, specifications or sketches of the means of reinforcement/type of repair, including its relationship with existing and surrounding fabric,
- A brief structural engineer's note, to explain the rationale for the reinforcement considering the present issue and nature of the proposed measures,
- A brief method statement for the installation of new reinforcement and repairs.

Following approval of these details, all works shall be carried out and thereafter maintained in strict accordance with the details so approved.

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024.

**Informatives:**

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1. In accordance with paragraph 39 of the NPPF (2024), Winchester City Council (WCC) take a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC: - offer a pre-application advice service and, - update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions.

In this instance pre-application was sought.

2. The Local Planning Authority has taken account of the following development plan policies and proposals:- Local Plan – DS1, D1, D7, HE1, HE2, HE3, HE5, HE8, HE14, T1, T2, T3, T4, CN4

3. This permission is granted for the following reasons: The development is in accordance with the Policies and Proposals of the Development Plan set out above, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

# 25/01677/FUL Monument House, 5 Upper High Street, Winchester, Hampshire, SO23 8UT

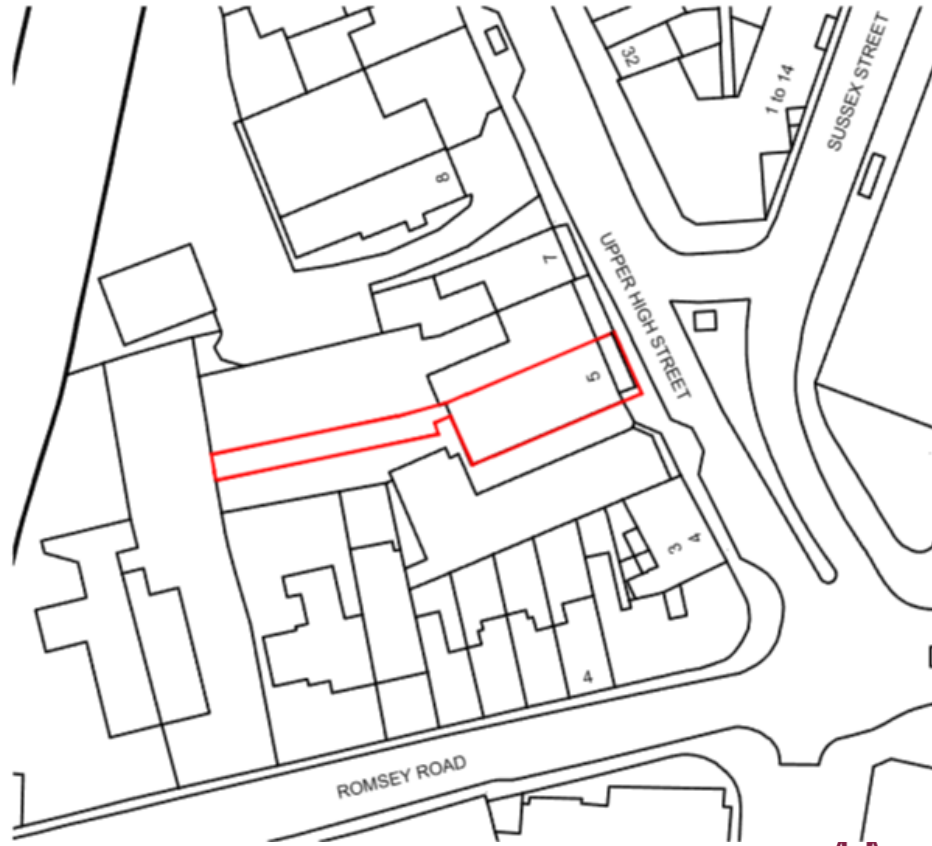
Page 81

**Addition of an extra storey to 5 Upper High Street to provide two flats, cycle stores, including minor external alterations and connection to the neighbouring listed building (revised plans)**



# Location Plan

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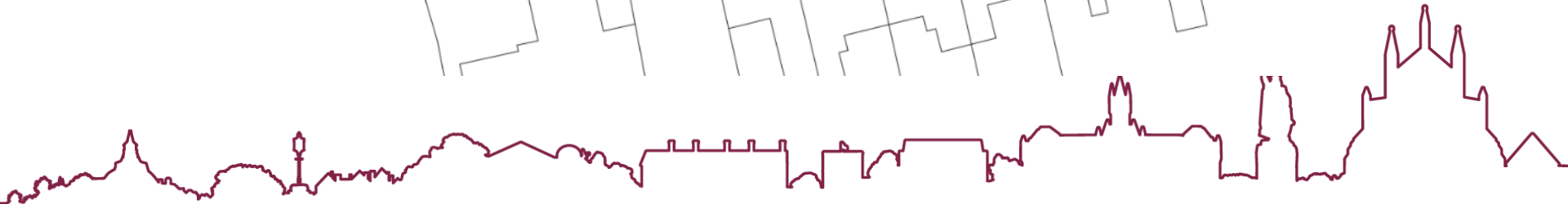
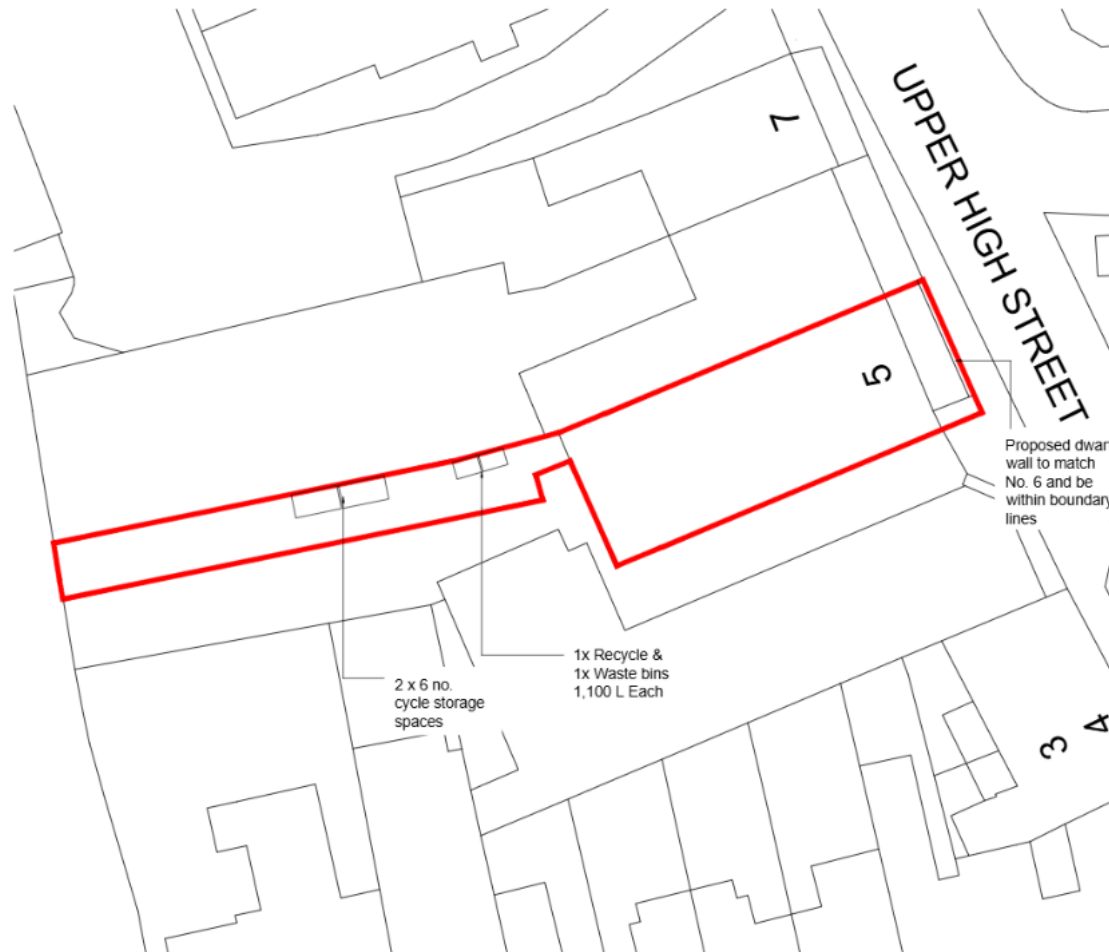
# Aerial Photograph



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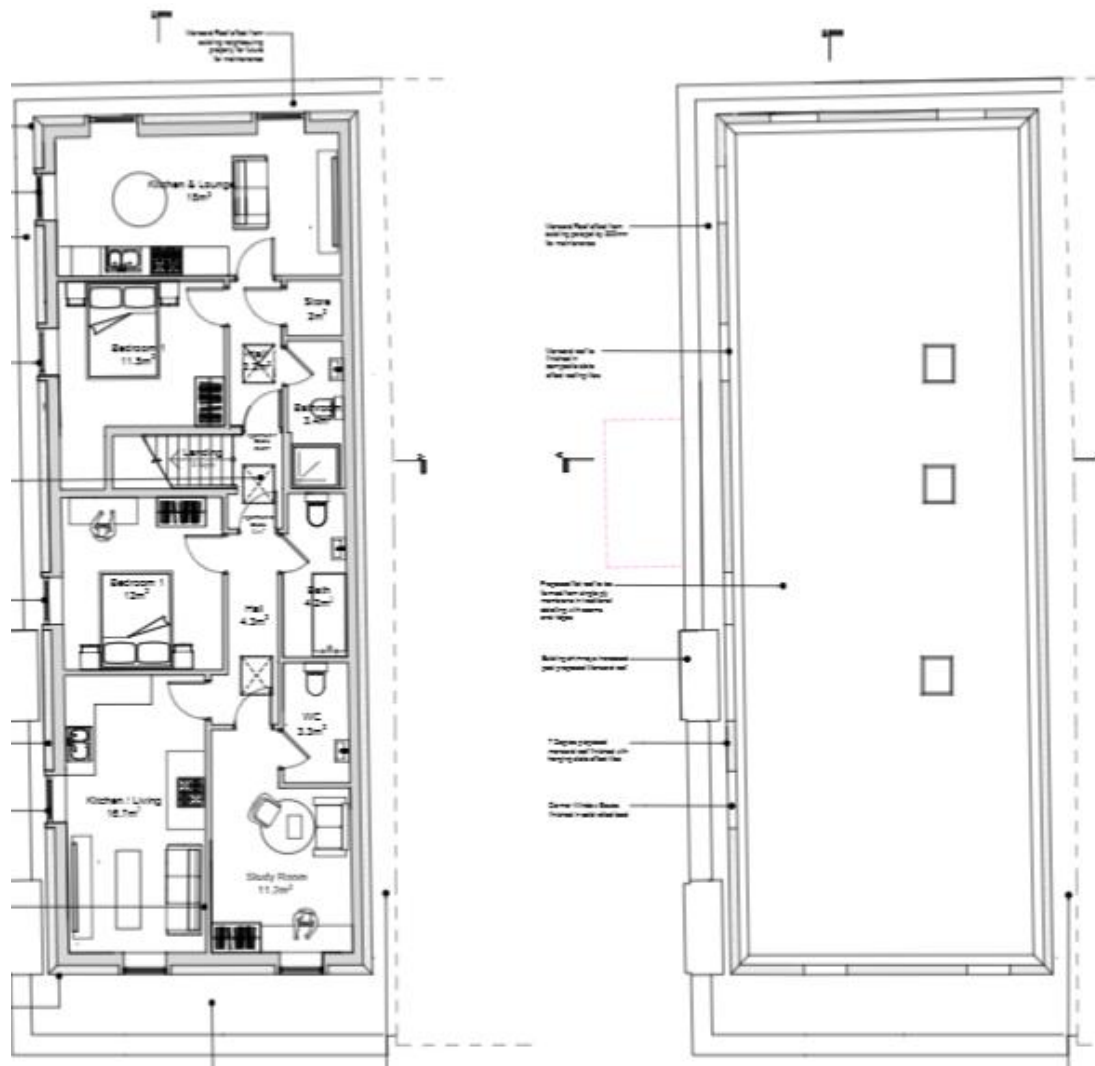
# Proposed Block Plan

Page 84



# Proposed Loft and Roof Plans

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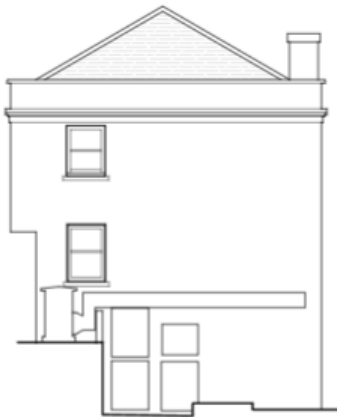
# Existing Elevations



FRONT ELEVATION  
0000-00



SIDE ELEVATION  
0000-00



REAR ELEVATION  
0000-00

# Original Proposed Elevations





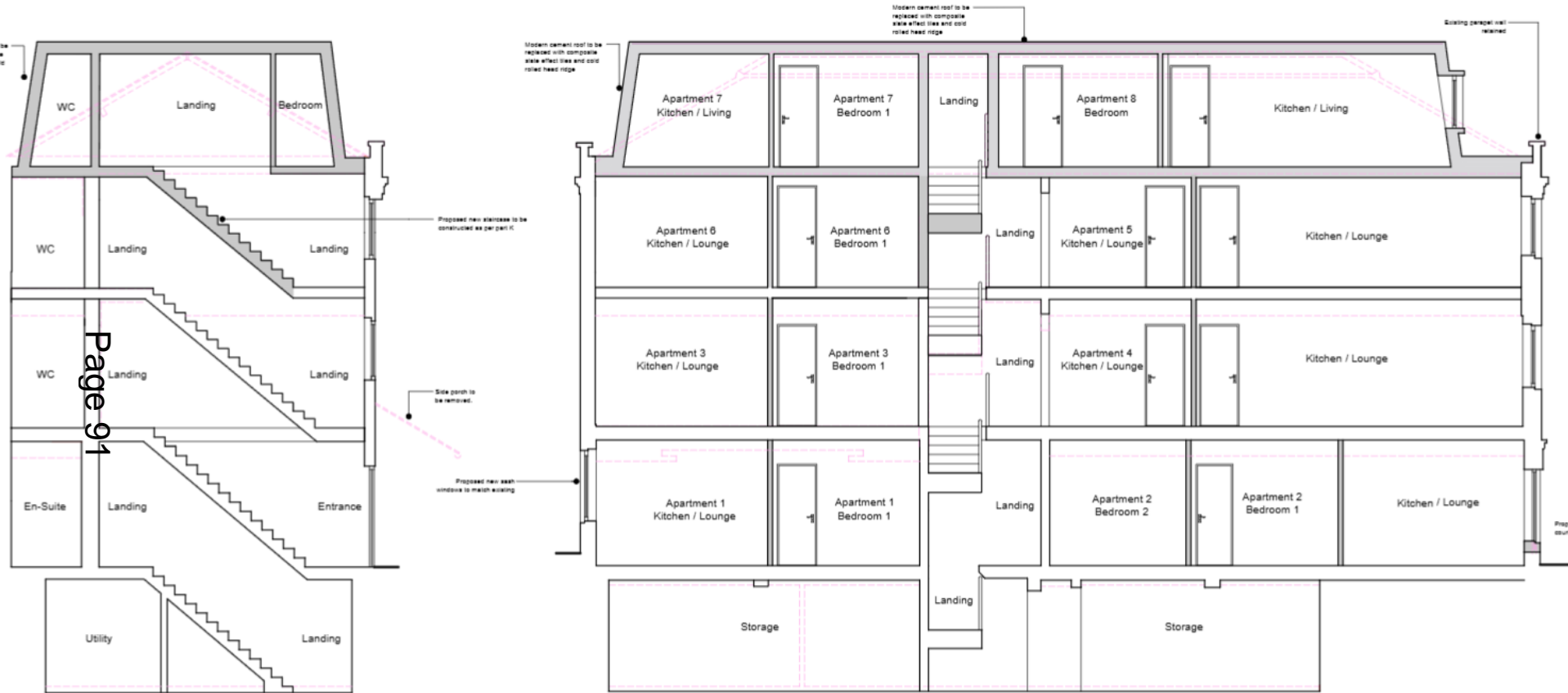
# Existing Street View

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# Proposed Sections



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# Site Photos

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# Site Photos

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# Site Photos from Wessex Court



# Site Photos from Wessex Court



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# Site Photos from Wessex Court



# Site Photos from Wessex Court

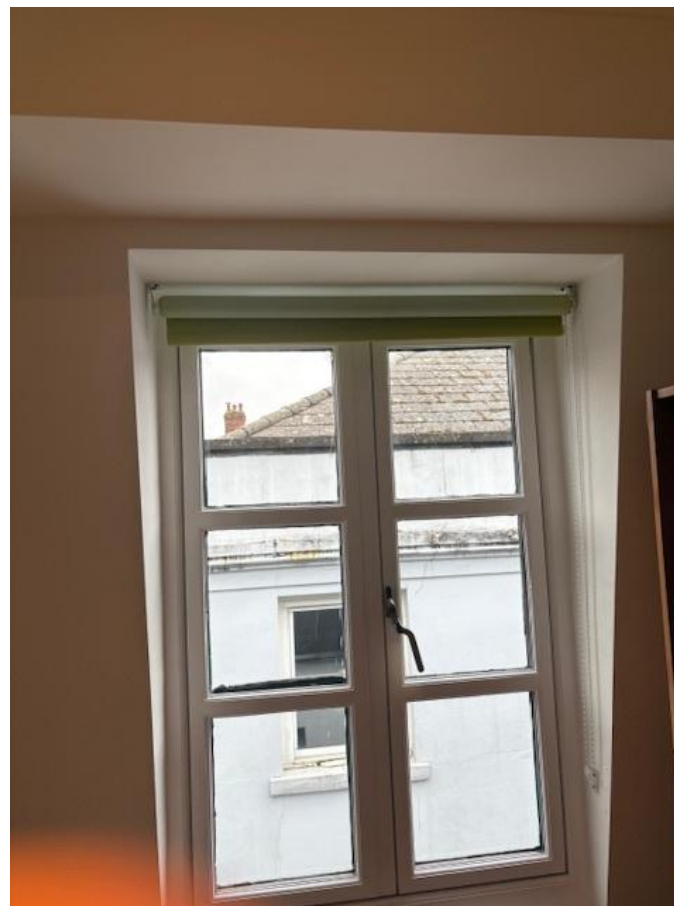


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# Site Photos from Wessex Court

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# Recommendation

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Proposal complies with Local Plan policies as is laid out within the report.



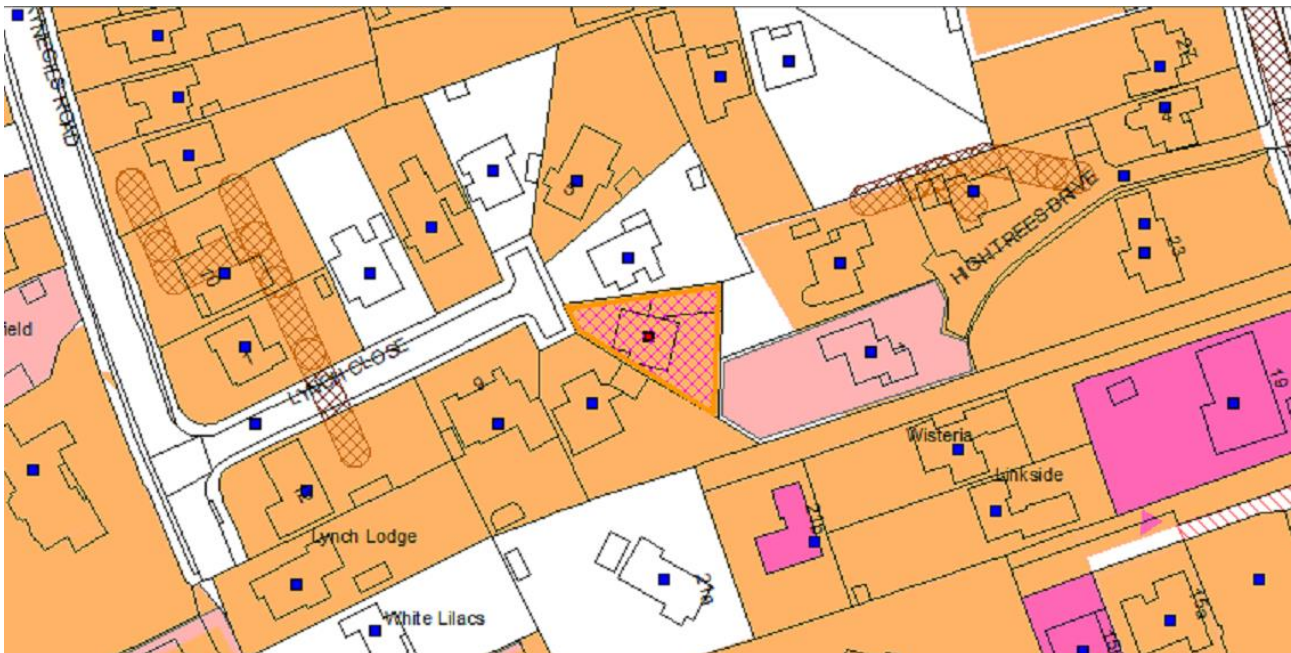
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## WINCHESTER CITY COUNCIL PLANNING COMMITTEE

**Case No:** 25/02581/HOU  
**Proposal Description:** Upwards extension to provide additional accommodation at first floor.  
**Address:** 7 Lynch Close Winchester Hampshire SO22 6DG  
**Parish, or Ward if within Winchester City:** St Barnabas  
**Applicants Name:** Mr & Mrs J Ryan  
**Case Officer:** Cameron Finch  
**Date Valid:** 18 December 2025  
**Recommendation:** Permit  
**Pre Application Advice:** Yes

### Link to Planning Documents

[Link to page – enter in reference number 25/02581/HOU](https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple)  
<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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### Reasons for Recommendation

The development is recommended for permission as it is considered that it will have a positive impact on the character of the area in accordance with Policy D1 of the Local Plan 2040 and would not harm neighbouring residential amenity in accordance with policy D7 of the Local Plan 2040.

### General Comments

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The application is reported to Committee due to the number of Objection representations received contrary to the Officer's recommendation.

**Amendments to Plans Negotiated**

None

**Site Description**

Lynch Close is a cul-de-sac in a residential area of Winchester. It is defined by eight bungalows which sit in a semi-circle at the Eastern end of the road. The ground level changes with the ground gently sloping from the West to the East. The character of these bungalows is generally consistent although there is variety in materials and some built form as they have been altered and extended over time. Two storey houses on neighbouring roads are visible from within the cul-de-sac.

7 Lynch Close is positioned in the southeastern corner of the cul-de-sac. It is finished with a shallow gabled roof with clay tiles. The external walls are finished with white painted brick. The dwelling is served by a driveway to its front with a moderately sized rear garden. It is set back slightly from the street scene to accommodate this. The dwelling has been extended at the single storey level in the past on its northeastern side, finished with a flat roof.

**Proposal**

The proposal seeks to construct an extension to provide an additional storey to create more living space. This includes raising the height of the roof; it is finished with a gable end with the ridge measuring approximately 7.1 metres tall. This is an increase of approximately 3 metres from the existing. The proposal uses lower eaves measuring approximately 4.3 metres tall, an increase of 1.8 metres from the existing. The roof is finished with concrete tiles reused from the existing roof and seven Velux roof lights are proposed. Two full length windows are proposed to the front elevation, the tops of which sit above the ridge height. A single smaller window is placed in the rear elevation. A small box dormer is proposed on the north-eastern side elevation to accommodate the stairs, finished with grey cladding. The external walls of the upper floor are finished with dark grey render.

**Relevant Planning History**

15/01503/FUL - (HOUSEHOLDER) Single storey side and rear extension to north side of dwelling, following demolition of garage. Alterations to existing conservatory structure to south side of dwelling, including replacement roof, alterations to fenestration. Erection of new garden shed. Re-submission following withdrawal of application no; 14/02924/FUL- Permitted 26.08.2015

24/00706/PNADD6 - Addition of one storey to the original section of the single storey dwellinghouse under Section AA of the The Town and Country Planning (General Permitted Development) (England) Order 2015 – Prior Approval Refused 23.05.2024 – Appeal Dismissed 20.12.2024

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Reason: The external appearance of the principle elevation has a detrimental impact to the character and appearance of the street scene.

**Consultations**

None.

**Representations:**

City of Winchester Trust  
- No comments

15 Objecting Representations received from 12 different addresses citing the following material planning reasons:

- The character of Lynch Close is defined by bungalows. The addition of another storey harms the character of the Close and would dominate views at the end of the cul-de-sac.
- The extension would lead to overdevelopment of the site.
- The extension will block light to neighbouring dwellings.
- Rear windows would overlook neighbouring properties.

Comments not material to the determination of the planning application:

- It would reduce the number of bungalows available locally.

9 Supporting Representations received from different addresses citing the following material planning reasons:

- Development has been designed sensitively to fit into the surrounding area.
- Development has been designed to minimise overlooking on neighbouring dwellings.

Comments not material to the determination of the planning application:

- Would provide another good quality family home.

**Relevant Government Planning Policy and Guidance**

National Planning Policy Framework (NPPF)

4. Decision-making

12. Achieving well-designed places

National Planning Practice Guidance (NPPG)

Determining a planning application

Local Plan 2040

Strategic Policy SP1 - Vision and Objectives

Strategic Policy D1 – High Quality, well designed and inclusive places

D2 – Design Principles for Winchester Town

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D7 – Development Standards  
T2 – Parking for New Developments

Supplementary Planning Document  
National Design Guide 2019  
High Quality Places 2015

## **Planning Considerations**

### **Principle of development**

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and paragraph 48 of the National Planning Policy Framework (NPPF) require that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

The application site is within the defined settlement boundary of Winchester, where the principle of development such as that proposed is considered to be acceptable subject to compliance with the Development Plan as a whole and all other Material Planning Considerations.

### **Assessment under 2017 EIA Regulations.**

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

### **Impact on character and appearance of area**

The increase in the built form will be visible from the street scene as the raising of the roof height does highlight the difference with the neighbouring bungalows. The use of a lower eaves height with the high internal ceilings highlights that this is a 1.5 storey house as opposed to a full two storey dwelling. Whilst no longer a bungalow, this does keep the overall scale of the extension down ensuring that it does not appear overly dominant when viewed amongst its neighbours. It is accepted similar development has not been undertaken in Lynch Close, although there are examples within the context of the wider surrounding area. The scale and massing of the extension does respond to its surroundings appropriately and is not of a size or scale that it is considered overdevelopment.

The positioning of the dwelling in the south-eastern corner of the cul-de-sac means that the increased scale does not have an immediate impact on the view down Lynch close from Kyngelis Road to the West. The extension would be first experienced further towards the eastern end of the cul-de-sac. Some limited screening is also provided by dwellings on the southern side which sit at a higher ground level. Whilst there is a visible increase in scale, it is not considered that the context is interrupted to an unacceptable extent.

The proposed design does use familiar elements to help relate the development to its surroundings. The High Quality Places SPD outlines that extension should be able to demonstrate a link back to the context where there is a deviation from the established

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character. The gabled roof and the reuse of the clay tiles does help to provide some link to the context whilst updating the dwelling's appearance. There is a variety of materials within the street scene and it is not considered that the use of render, cladding and grey aluminium window frames would be harmful to the overall character of the surrounding area. High quality materials are essential in ensuring that the development sits within its surroundings successfully. Condition 3 is recommended to ensure that the materials used are high quality. The palette proposed utilises a mixture materials already visible within the street scene. This creates a more contemporary appearance and is not harmful.

The proposed dormer window on the north-eastern elevation is minor in its size and scale.

It is noted that the previous Prior Notification (24/00706/PNADD6) to add an additional storey to this dwelling was refused and Dismissed on Appeal as it did not relate to the context and was harmful to the character of the surrounding area. The design of this development was limited by the prior approval legislation (Schedule 2, Part 1, Class AA) which led to a development which was harmful to the character of the surrounding area. The current application takes a more contextual approach to the addition of the additional storey such as altering the roof pitch and the height of the eaves, as well as a more considered material palette which were not possible through the previous application. On balance it is considered the current proposal is successful in design terms.

On balance, whilst there is deviation from the context through the removal of a bungalow the proposed design is able to demonstrate that it has been considered when creating the design. The scale and bulk of the proposed extension is not harmful to the character and appearance of the surrounding area. The proposal complies with Policy D1 of the Local Plan 2040 and the High Quality Places SPD (2015).

### **Development affecting the South Downs National Park**

The application site is located 1.4km from the South Downs National Park

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2024. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

Due to the distance and intervening features, an adverse impact on the National Park and its statutory purposes is not identified.

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In conclusion therefore the development will not affect any land within the National Park and is in accordance with Section 11a of the National Parks and Access to the Countryside Act 1949.

**Historic Environment**

The works do not affect a statutory Listed building or structure including setting; Conservation Areas, Archaeology or Non-designated Heritage Assets including setting.

**Neighbouring amenity**

6 Lynch Close is the immediate neighbouring dwelling to the North of the proposal site. Due to the orientation of the two houses, there is not a direct relationship between their built form. Whilst the extension is visible from the rear garden, it is set a sufficient distance from the boundary (5 metres) that it is not overbearing on key amenity space to the rear. The orientation also prevents a prolonged period of overshadowing on this dwelling. No first floor windows are orientated to address this dwelling. The roof lights on the Northern elevation sit approximately 3 metres above the floor level and do not overlook this neighbour.

8 Lynch Close sits to the southwest of the proposal site. The side elevation of the host dwelling sits adjacent to the boundary with this dwelling, however the key amenity space to the neighbour's rear is set further back. The low eaves height of the extension limits the built form adjacent to the boundary and is considered sufficient to prevent overbearing harm. Due to the orientation, it is considered there will be some limited overshadowing of the north-eastern section of the garden in the evening. This would not be sustained over the course of a full day and it is not considered to be unacceptable. There are no windows directed to address key amenity space. Roof lights sit at least 2 metres above the floor height. No overlooking harm is caused.

1 and 2 High Trees Drive sit to the east of the proposal site. The rear elevation of both dwellings sit in excess of 29 metres from the rear elevation of the proposed extension. The extension will be visible from these dwellings, however the distance is sufficient to prevent overbearing and overshadowing harm. The rear window serving the master bedroom is orientated towards these dwellings. The use of the room would suggest that there would not be sustained overlooking. The window is also located 29 metres away which reduces opportunities to look into key amenity space immediately to the rear of these dwellings.

No further neighbouring dwellings are impacted by the proposed development.

The proposal does not cause sustained harm to neighbouring dwellings and complies with Policy D7 of the Local Plan 2040.

**Sustainable Transport**

There is no change to the access and parking arrangements as a result of this development. The development does not impact upon highway safety and is compliant with T2 of the Local Plan 2040.

**Ecology and Biodiversity**

The site is not considered suitable habitat for any protected species. This is a householder planning application and it is exempt from Biodiversity Net Gain.

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WINCHESTER CITY COUNCIL  
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The proposal will have no impact as it is not development within, bordering or in close proximity to a Nationally Protected Site (i.e. River Itchen SAC, The Solent SAC, SPAs, Ramsar Sites) or is not overnight accommodation affecting Nitrates.

Therefore, the proposal complies with policy NE5 of the Local Plan 2040.

### **Equality**

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

### **Planning Balance and Conclusion**

The proposed development does impact upon the character of the street scene. On balance, it is considered that sufficient measures are taken through the design and scaling to ensure that the proposed extension does not overdevelop the site. The development has also sufficiently related itself to the context. Overall, it is considered that the development does not cause harm to the character and appearance of the surrounding area and is compliant with D1 of the Local Plan 2040 and the High Quality Places SPD (2015). The proposal is not harmful to neighbouring dwellings and is compliant with Policy D7 of the Local Plan 2040.

### **Recommendation**

Application permitted subject to the following conditions:

### **Conditions**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be constructed in accordance with the following plans:

Site Location Plan received 18 December 2025 drawing no. 1409\_EX\_001\_B

Block Plan received 18 December 2025 drawing no. 1409\_PR\_001\_B

Ground Floor Plan Proposed received 18 December 2025 drawing no.

1409\_PR\_100\_C

First Floor Plan Proposed received 18 December 2025 drawing no.

1409\_PR\_101\_D

Roof Plans Proposed received 18 December 2025 drawing no. 1409\_PR\_110\_B

Elevations Proposed received 18 December 2025 drawing no. 1409\_PR\_300\_B

WINCHESTER CITY COUNCIL  
PLANNING COMMITTEE

Reason: In the interests of proper planning and for the avoidance of doubt.

3. No development shall take place until details and samples of the materials to be used in the construction of the external surfaces of the extension hereby permitted have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure that the development presents a satisfactory appearance in the interests of the amenities of the area.

**Informatives:**

1 In accordance with paragraph 39 of the NPPF (December 2024), Winchester City Council (WCC) takes a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC:

- \* Offer a pre-application advice service; and
- \* Update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions

In this instance

- \* pre-application advice was given
- \* the application was acceptable as submitted and no modification or further assistance was required
- \* the application was considered by the Planning Committee where the applicant/agent had the opportunity to speak to the Committee and promote the application

2 The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that planning permission granted for development of land in England is deemed to have been granted subject to the condition (biodiversity gain condition) that development may not begin unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan, if one is required in respect of this permission would be Winchester City Council.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply.

Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun because one of the statutory exemptions is considered to apply. In this case the statutory exemption is that the permission is for:

Development which is subject of a householder application within the meaning of article 2(1) of the Town and Country Planning (Development Management Procedure) (England) Order 2015. A householder application means an application for planning permission for development for an existing dwellinghouse, or development within the curtilage of such a dwellinghouse for any purpose incidental to the enjoyment of the dwellinghouse which is

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not an application for change of use or an application to change the number of dwellings in a building.

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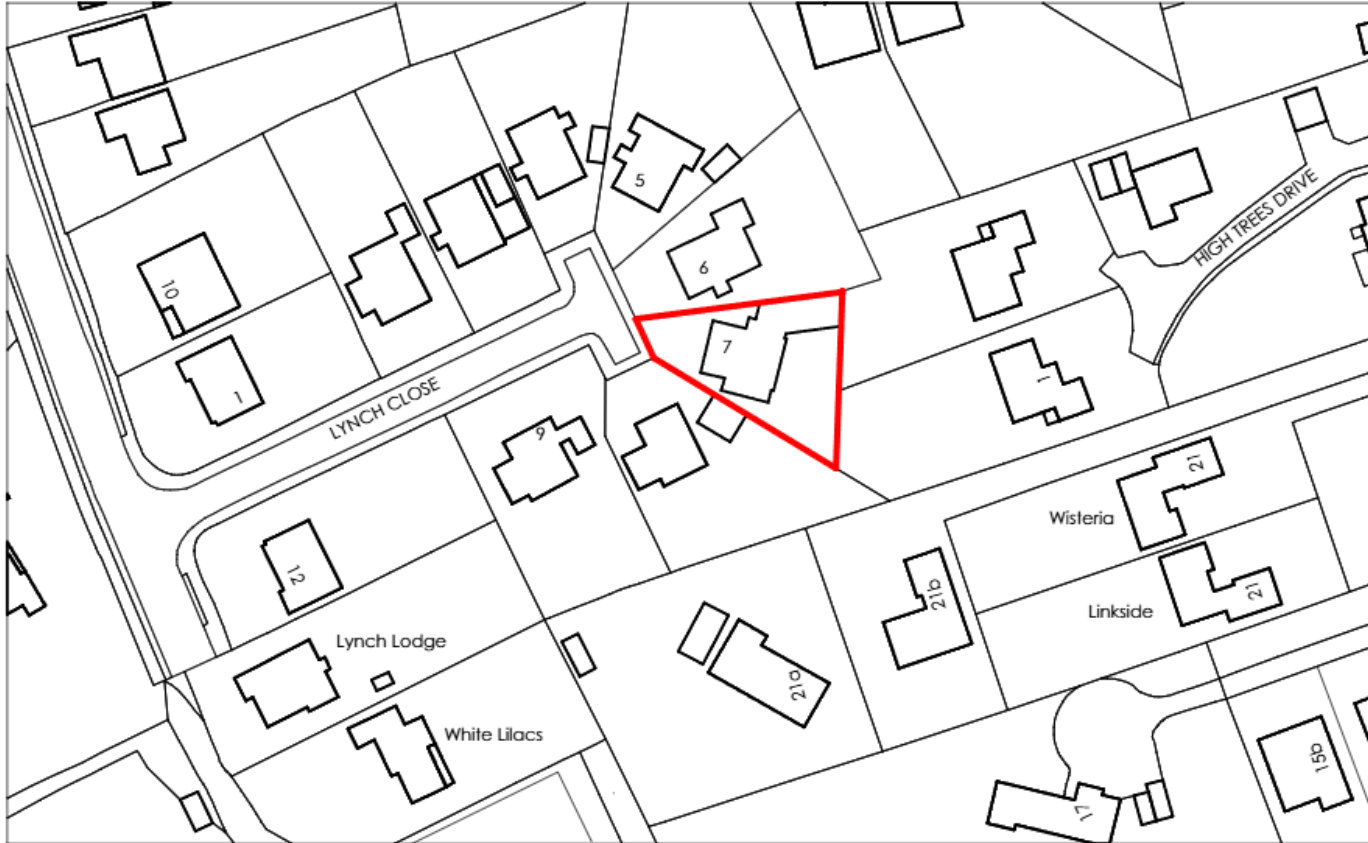
**25/02581/HOU– 7 Lynch Close,  
Winchester, Hampshire, SO22  
6DG**

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Upwards extension to provide additional accommodation at first floor.



# LOCATION PLAN



# AERIAL PHOTOGRAPH



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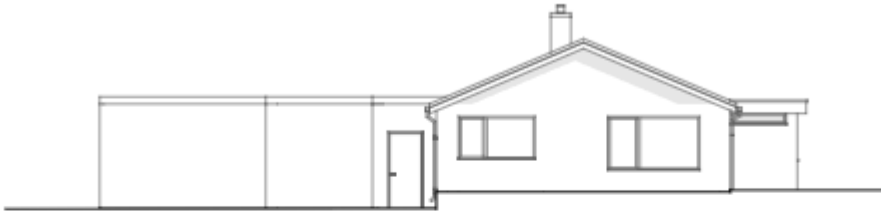
# PROPOSED SITE PLAN

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Development is limited to the roof

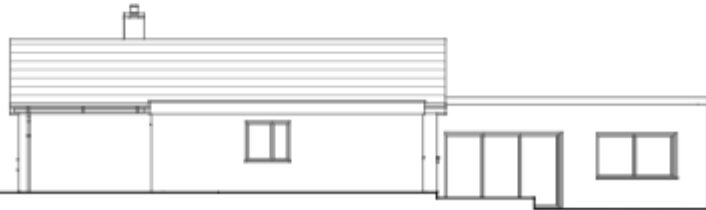
# EXISTING ELEVATIONS



West (Front) Elevation



East (Rear) Elevation



South (Side) Elevation

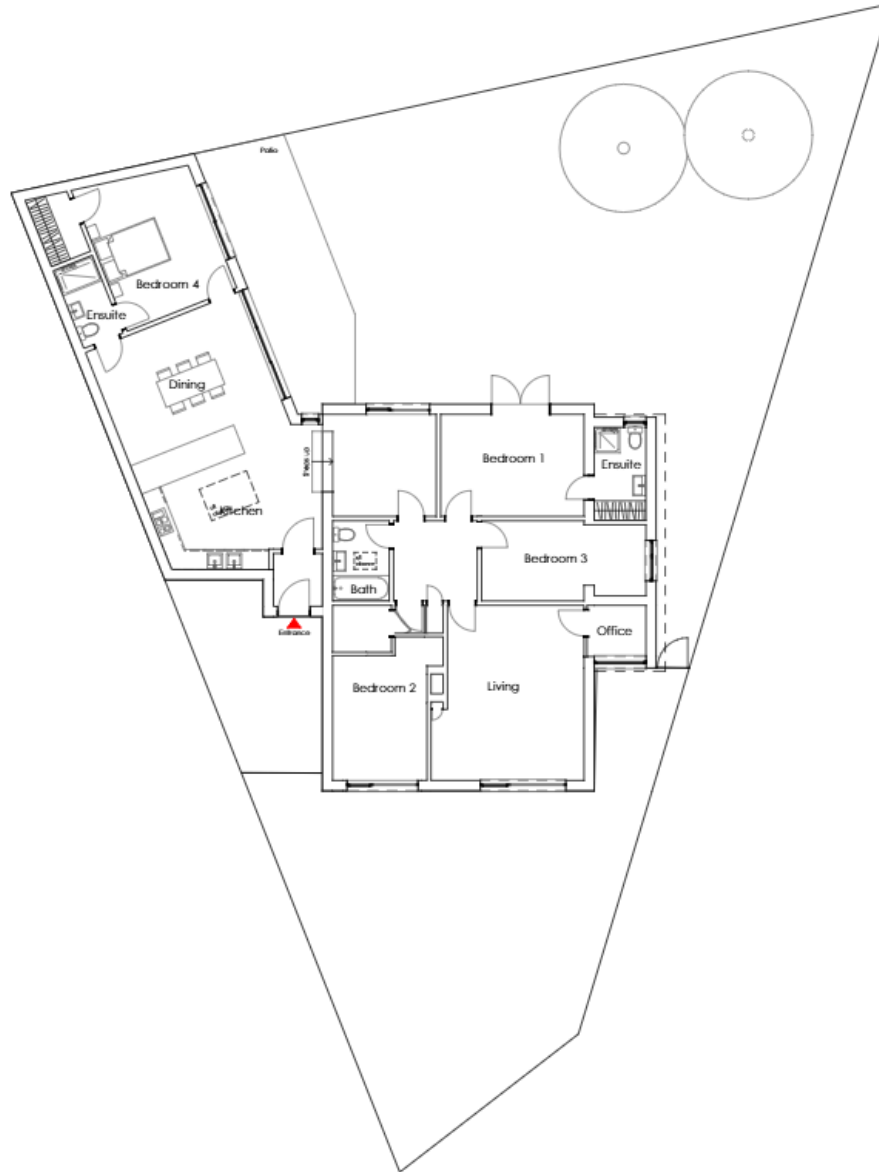


North (Side) Elevation

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# EXISTING FLOOR PLANS

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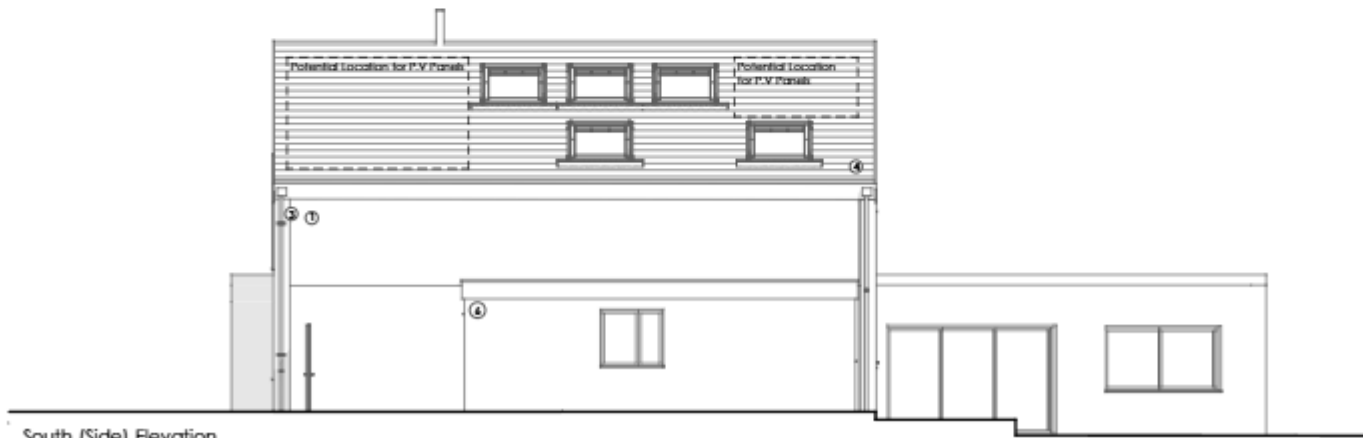


# PROPOSED ELEVATIONS – DWELLING (WEST AND SOUTH ELEVATIONS)

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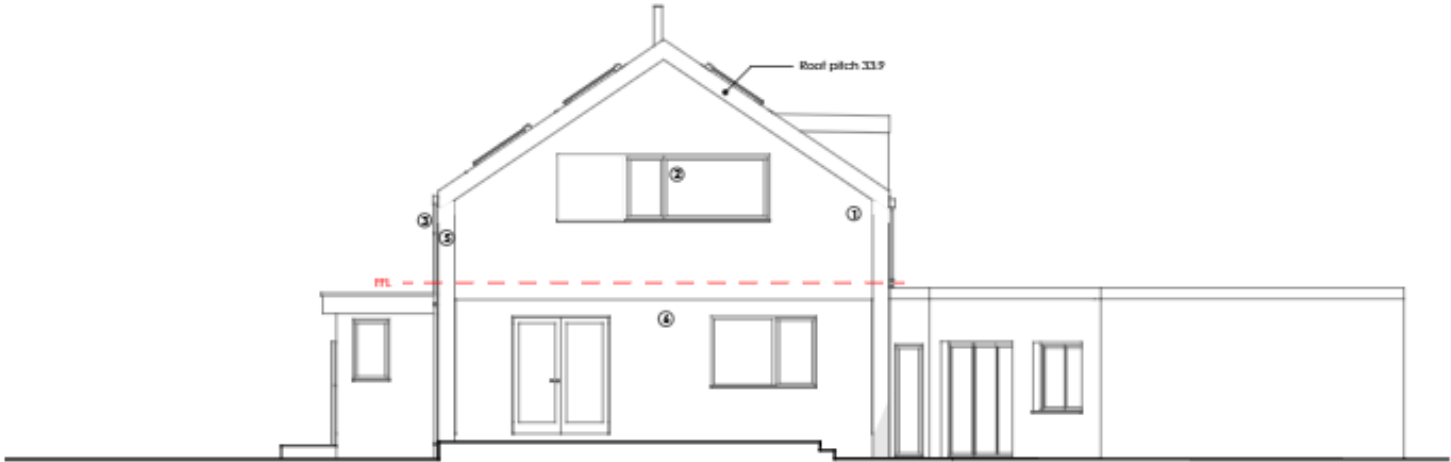
West (Front) Elevation



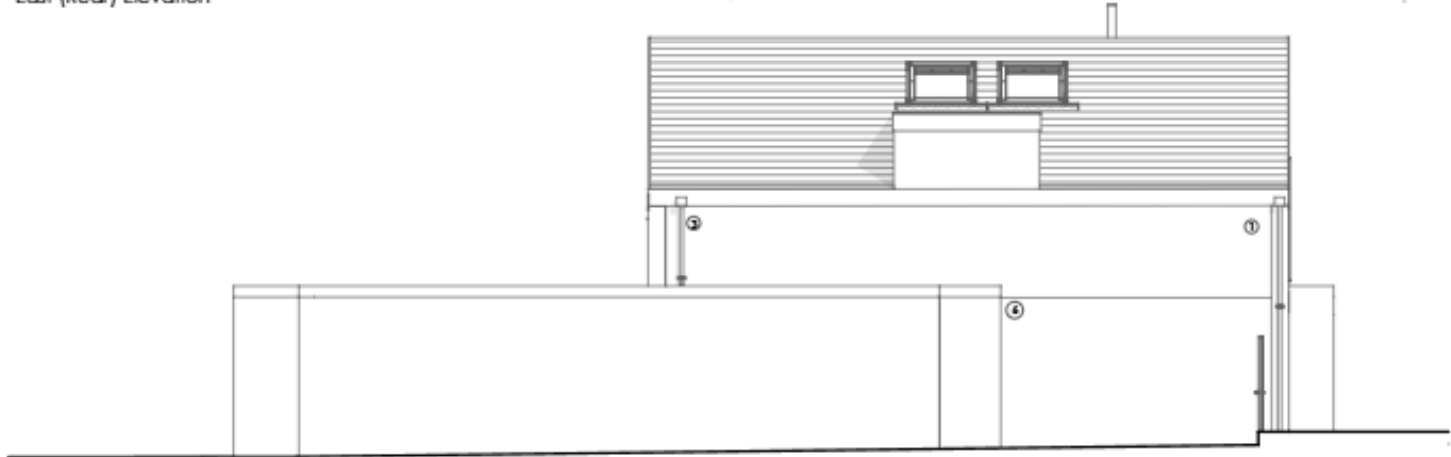
South (Side) Elevation

# PROPOSED ELEVATIONS – DWELLING (NORTH AND EAST)

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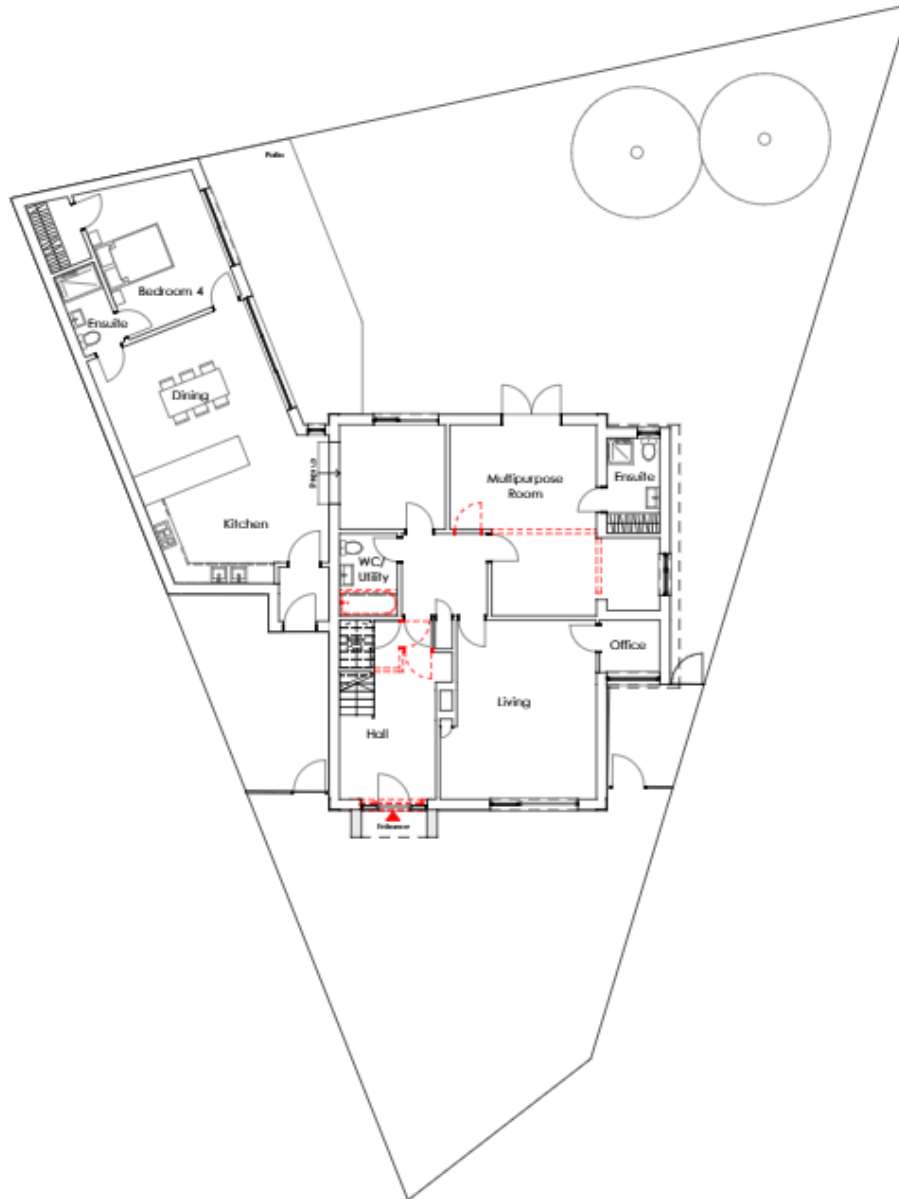


East (Rear) Elevation

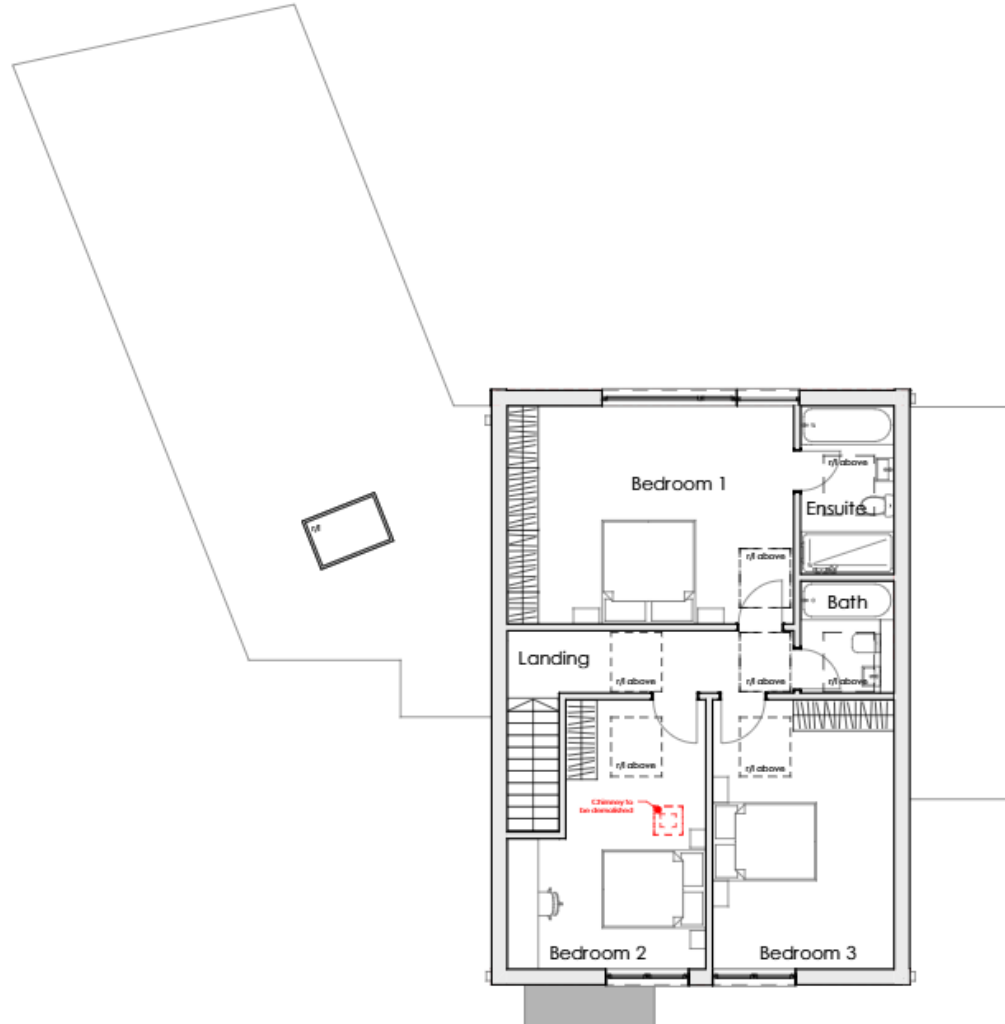


North (Side) Elevation

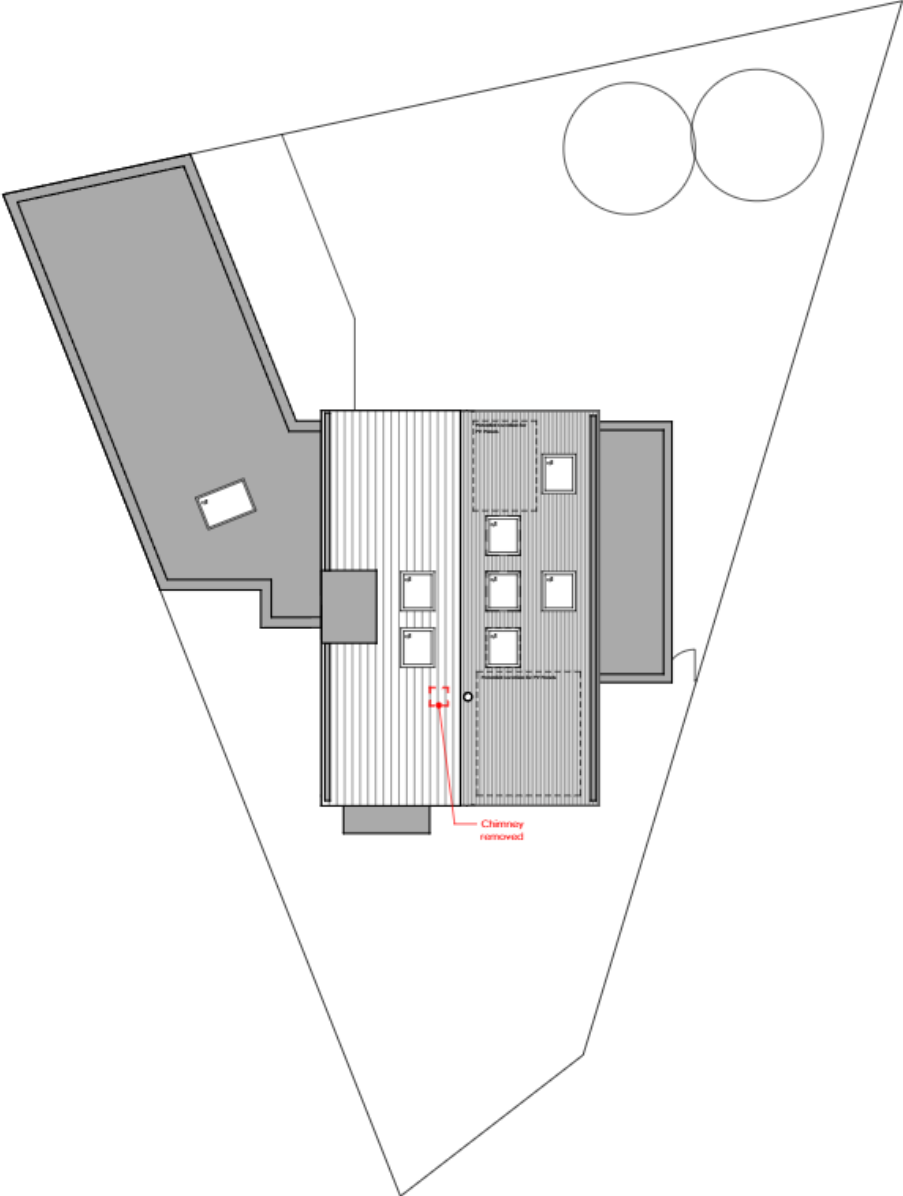
# PROPOSED GROUND FLOOR



# PROPOSED FIRST FLOOR



# PROPOSED ROOF PLAN



# SITE IMAGES – VIEW FROM LYNCH CLOSE



# SITE IMAGES – FRONT OF DWELLING



# SITE IMAGE – PRINCIPLE ELEVATION

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# REAR ELEVATION



# NEIGHBOURING DWELLINGS



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Dwellings along High Trees to the East

Looking South



# CONCLUSION

Recommendation: PERMIT

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## PLANNING COMMITTEE

REPORT TITLE: TREE PRESERVATION ORDER 2365 - 3 GRAFTON ROAD,  
WINCHESTER, SO23 3SX

15 APRIL 2026

REPORT OF CABINET MEMBER: COUNCILLOR JACKIE PORTER, CABINET  
MEMBER FOR PLACE AND LOCAL PLAN.

Contact Officer: BENJAMIN LEWIS TEL: 01962 848567 EMAIL  
[blewis@winchester.gov.uk](mailto:blewis@winchester.gov.uk)

WARD(S): ST MICHAEL

### PURPOSE

To consider confirmation of Tree Preservation Order 2365 to which one letter of objection has been received.

### RECOMMENDATIONS:

That, having taken into consideration the representations received, Tree Preservation Order 2365 be confirmed.

## 1. SUMMARY

- 1.1. The Council received a tree works within a conservation area notice on the 31<sup>st</sup> of July 2025, to remove two yew trees which is the subject of this report. This was treated as a section 211 notice as the trees was subject to protection by virtue of being within the City of Winchester conservation area (25/01465/TPC).
- 1.2. Following this notification being received, a tree officer working on behalf of Winchester City Council carried out a site inspection on the 17<sup>th</sup> of October 2025 to assess the condition and amenity value of the two yew trees forming a linear group, and whether they held sufficient amenity value. Based on this assessment, these trees, as a group of two were deemed to meet the criteria for protection under a Tree Preservation Order (TPO). This assessment was carried out after the expiration date of the section 211 notice, due to resourcing.
- 1.3. The group of two trees achieved a score of 20 points on the Tree Evaluation Method for Preservation Orders (TEMPO) assessment, indicating that it warrants formal protection. As a result, TPO 2365 was issued on the 20<sup>th</sup> October 2025. If not confirmed the provisional order will expire on the 20<sup>th</sup> April 2026.

## 2. CONSULTATION

2.1. One letter of objection to the making of this TPO was received. The key concerns are summarised as follows:

- The period of time between the notification having been received by Winchester City Council, and the serving of the above Tree Preservation Order. This being raised within the objection as some 90days, and outside of the six week notice period allotted to section 211 notices.
- The Tree Preservation Order having been made some 48 days following the expiration of the allotted time given to section 211 notices.
- Associated costs having been incurred within those 48 days.
- According to the lodged objection the “Affected Trees are of extremely poor quality, overlarge and deleterious to the local amenity.” Furthermore “The Affected Trees clearly neither *preserve* nor *enhance* the Conservation Area but rather detract from it.”
- Historic section 211 notice provided for an adjacent property raised no objection (23/00946/TPC).
- Winchester City Councils public interactive map was “currently not functioning for TPOs”.

- The group of two yew trees are not to be considered as a group.
- The Winchester City Trust, raised no objection in relation to this section 211 notice (25/01465/TPC). It was raised by the Winchester Trust that the two yew trees were “**overlarge**” and that the proposed replacement hedge instead would “**contribute appropriately to the visual amenity and character of the street scene**”
- The removal of the two yew trees, as per the notice received, should not be considered to have “**a significant negative impact**”
- street lighting illuminate to a “large portion” of the footway to the west is prohibited.
- Retention of the group of two yew trees will have a “major negative impact on the new dwelling house to be constructed pursuant to PP23/00667/FUL.”
- Rarity and cultural value of “Common Yew” are not considered by Winchester City Council.

The Tree Officer’s response:

- The Tree Preservation Order 2365 was served following the expiration of the section 211 notice (25/01465/TPC). Upon the site visit carried out by the Winchester City Council, Arboricultural Officer, the group of two yew trees were present. As such Winchester City Council took steps to serve a tree preservation order on the group of two yew trees following an amenity valuation assessment.
- Following the expiration of the section 211 notice, the objector was in a position to remove the group of two yew trees following this six week notice period. At this point Winchester City Council had not made comment, either no objection or supporting the application as is an available route under The Town and Country Planning (Tree Preservation) (England) Regulations 2012. The trees remained under threat of removal during this time, and could have been removed by the objector up until the point at which TPO 2365 was served. As such the group of two yew trees were not removed and were assessed for suitability of a Tree Preservation Order.
- An assessment made in line with the widely utilised and recognised Tree Evaluation Method for Preservation Orders (TEMPO), was carried out, and the group of two yew trees scored 20 points, according to the assessment, trees scoring 16+ definitely merit Tree Preservation Orders.
- “Amenity” is not a term defined in law, and as such assessment tools such TEMPO, as the above are used to provide structure and guidance relating to decision making when assessing visual amenity of trees. This

assessment was carried out and the score generated confirmed that the group of two yew trees merit a Tree Preservation Order.

- In relation to the historic section 211 notice, 23/00946/TPC mentioned above, the notice was submitted on the 17<sup>th</sup> of April 2023, our records show that this application was subsequently withdrawn on the 24<sup>th</sup> of April 2023. In this instance the yew tree relating to this notification remains a feature of the street scene within Grafton Road.
- Winchester City Councils interactive public mapping system may have not been functioning during the time of this objection. However, interactive mapping is currently active, showing the group of two yew trees as Group on, TPO 2365 (accessed 27-2-26)
- The objection received highlighting that “the trees are of indifferent quality” and “have little Merit, being close together”. The arboricultural report, associated with this property, and the approved plan aforementioned (23/00667/FUL) record these trees as T3 and T4 respectively, in “Good” Physiological condition and “Fair” (Tree survey report, p2). This record also showing T3 and T4 as “Part of linear group”.
- The category of “group” was utilised in this instance as according to the record of the TEMPO assessment carried out by the tree officer, on the 17<sup>th</sup> of October 2025, relating to section D, other factors. “These two trees form an important group feature in the front garden of the property. We would consider these trees to be the most prominent features in this road. They can be seen from both junctions which run adjacent to this road.”
- The term “overlarge” has been utilised within the received objection. These trees have both been recorded as EM, early mature, within the aforementioned tree survey, with 20+ years estimated remaining contribution.
- Provisions exist within the legislation which allows for a householder to make an application for tree works consent to manage a protected tree. If such work is refused and a householder can establish that there is a causative link between the refusal and property damage a claim can be made pursuant to the statutory provisions provided which deals with such situations.
- Exceptions exist within the aforementioned legislation that allows for tree works to be carried out where trees conflict with highway infrastructure, in this case a streetlamp located adjacent to this group of two yew trees.
- TPO 2365 was made on the 20<sup>th</sup> October 2025, and the decision for confirmation of this TPO is the 20<sup>th</sup> April 2026 in order to confirm this preservation order.

### 3. ENVIRONMENTAL CONSIDERATIONS

Trees such as these yew trees, play a vital role in addressing the climate emergency and enhancing the district's green infrastructure, particularly within the urban environment. Yew trees are capable of being long lived, and as these trees are early mature, they have many years of contributing remaining. They contribute to carbon sequestration by absorbing from the atmosphere and mitigating the effects of climate change.

In addition to their environmental benefits, yew trees are able to support essential habitats for a number of species, including species of birds, and other wildlife benefiting from the dense shelter and food they provide. Therefore, they contribute to the ecological health of the area.

#### 4. ALIGNMENT WITH WINCHESTER TREE STRATEGY

The confirmation of TPO 2365 directly supports the objectives outlined in the Winchester City Council Tree Strategy. By preserving this group of early mature yew trees, that contribute to local biodiversity, visual amenity, and climate resilience, the TPO reinforces the Strategy's commitment to protecting valuable trees across the district.

The report's emphasis on the role of this group of two yew trees in providing a positive visual contribution to the local street scheme and character. Whist also supporting wildlife and carbon sequestration, which directly aligns with Winchester City Councils Tree Strategy's goals to enhance ecological networks, promote environmental stewardship, and integrate trees into the urban landscape for the benefit of current and future generations.

#### 5. PUBLIC SECTOR EQUALITY DUTY

None

#### 6. RISK CONSIDERATIONS

- 6.1. The risk of legal challenge to the validity of the TPO is considered low as the TPO has been made and served in accordance with the relevant legislation and procedures. Compensation for refusal for works applied to the tree is mitigated by following correct procedures as laid down by the Secretary of State.

#### 7. OTHER OPTIONS CONSIDERED AND REJECTED

- 7.1. If the provisional TPO is not confirmed, it will expire on 20<sup>th</sup> April 2026. The tree will then be left vulnerable to being removed. The removal of this tree will have a detrimental impact on the amenity value and also character of the conservation area.

BACKGROUND DOCUMENTS: -

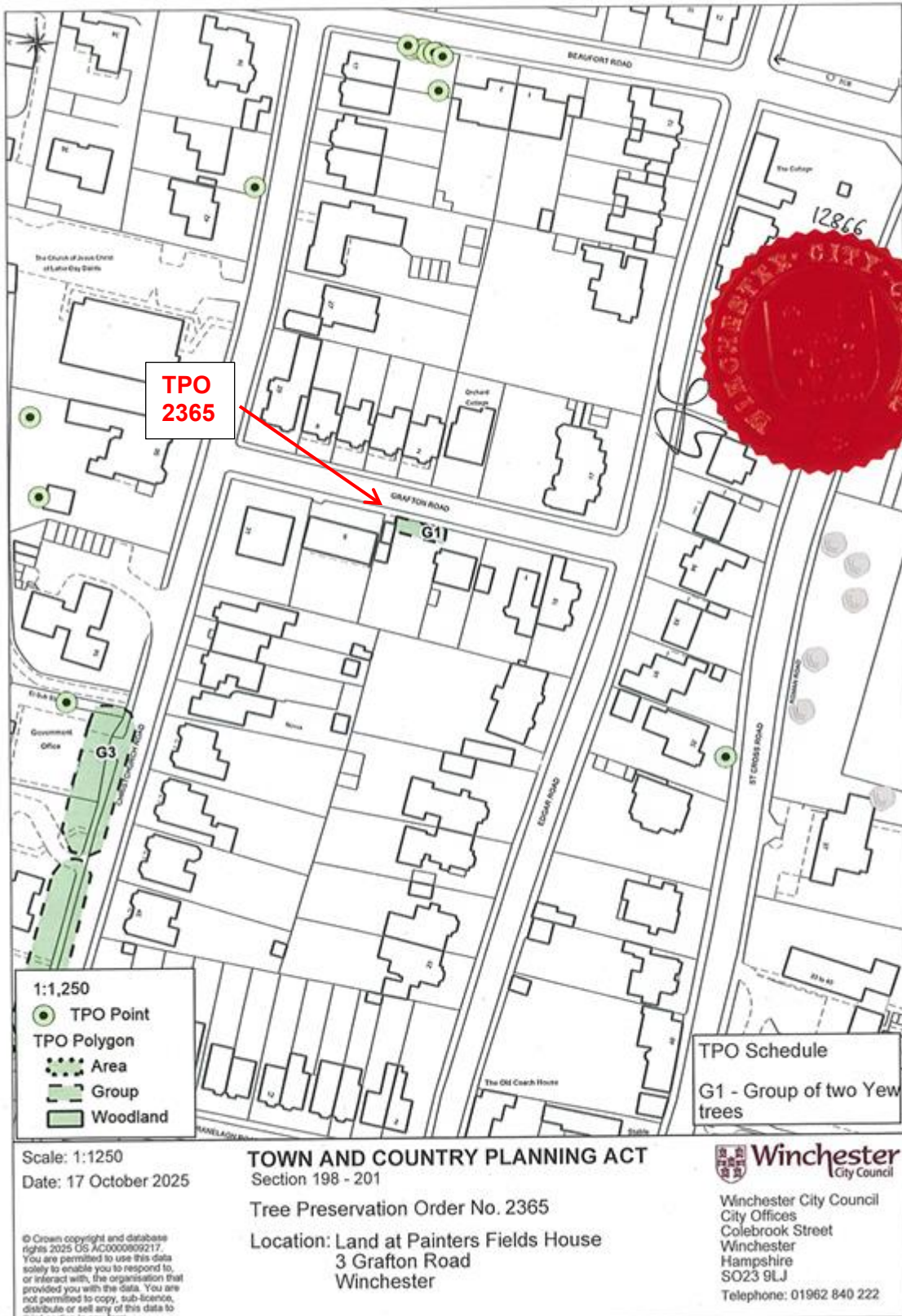
Planning Practice Guidance – Tree Preservation Orders and trees in conservation areas.

Website:- <https://www.gov.uk/guidance/tree-preservation-orders-and-trees-in-conservation-areas>

Winchester City Councils Tree Strategy - Website:-  
<https://www.winchester.gov.uk/planning/trees>

APPENDICES:

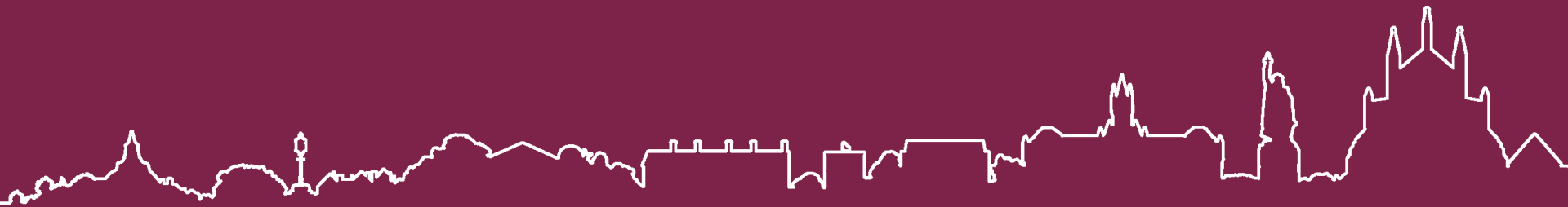
Appendix 1            Map

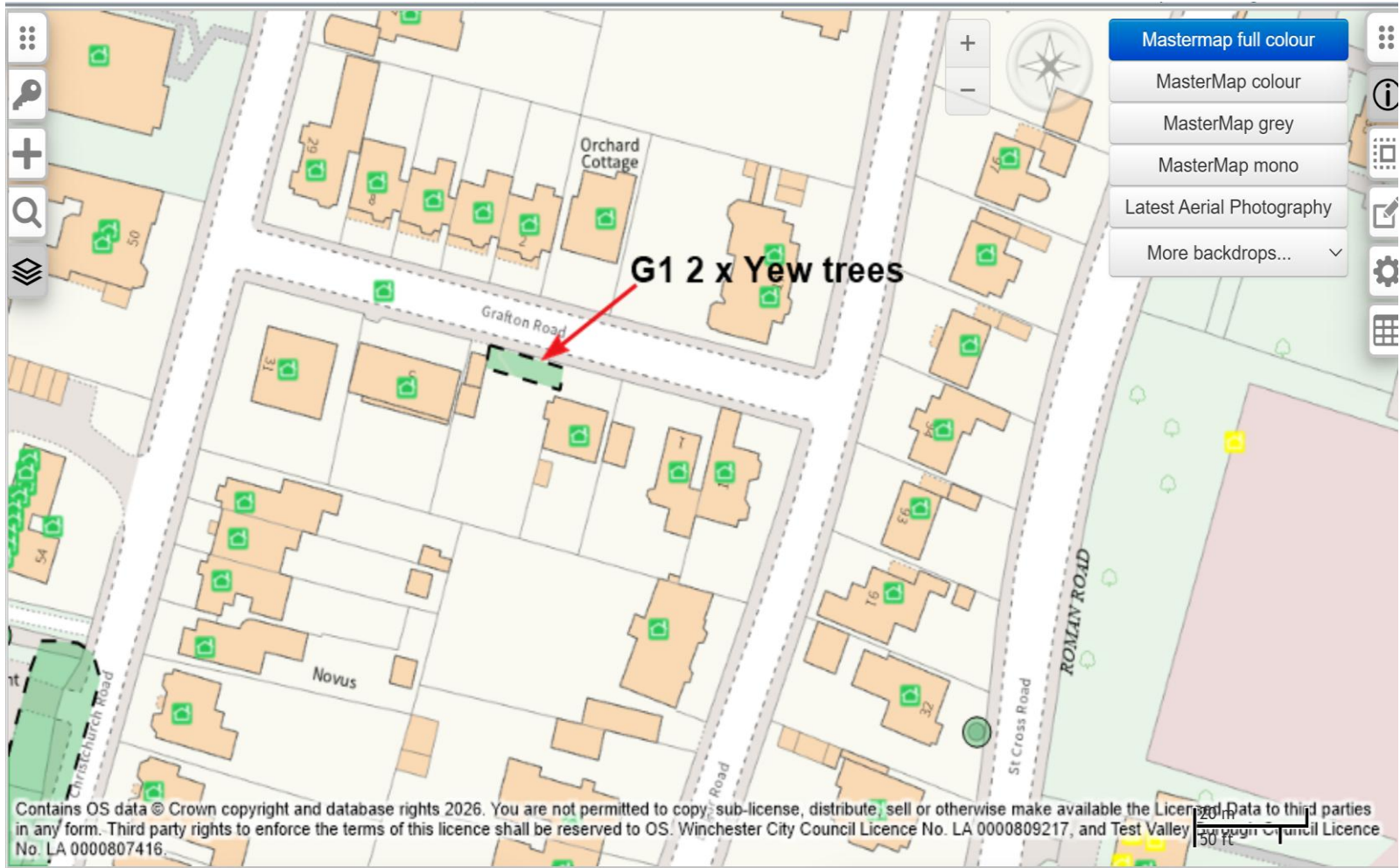


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# Confirmation of TPO 2365 Land at 3 Grafton Road Winchester

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**Public view – Diagonally opposite 3  
Grafton Road**

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## Public view – Junction of Grafton Road and Christchurch Road



**Public view – Junction of Ranelagh Road and Grafton Road**



# Public View opposite 3 Grafton Road

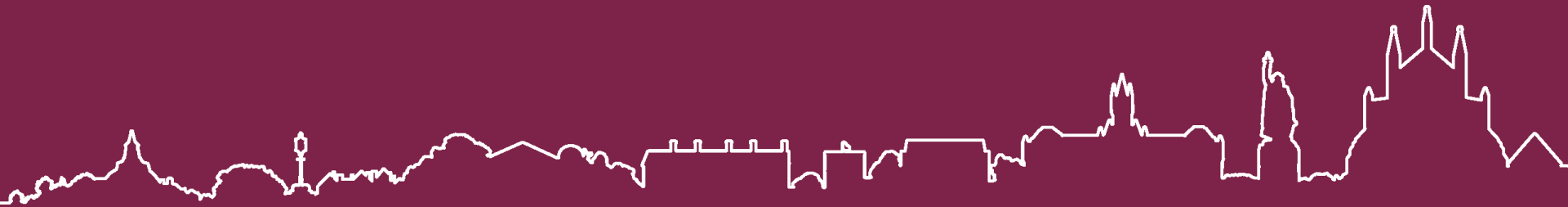
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Public view – Side of 17 Edgar Road



# Recommendation To confirm TPO 2365



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